



2ND REVISION

City of Apopka Planning Commission Meeting Agenda May 08, 2018

5:30 PM @ City Council Chambers

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held April 10, 2018.

IV. PUBLIC HEARING:

1. CHANGE OF ZONING – From “County” PD (ZIP) to “City” KPI-MU (Kelly Park Interchange Mixed Use) for the property owned by AHIFO-18, LLC and located West of Plymouth-Sorrento Road and east of SR 429, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road (Parcel ID Nos.: 12-20-27-0000-00-032; 12-20-27-0000-00-090)
2. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – From “County” Rural to “City” Residential Low Suburban (0 – 3.5 du/ac) for property owned by Lynn R. Fontaine and located at 4353 McDonald Gley Road. (Parcel ID No. 35-20-27-0000-00-037)
3. CHANGE OF ZONING – From “County” A-1 to “City” RCE-2 (Residential Country Estate) for property owned by Lynn R. Fontaine and located at 4353 McDonald Gley Road. (Parcel ID No. 35-20-27-0000-00-037)
4. COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – From Rural Settlement (1 du/ac) to Mixed Use Interchange (0-5 du/ac) for property owned by Kent Greer and located South of West Kelly Park Road, East of Round Lake Road. (Parcel ID Nos.: 14-20-27-0000-00-021; 14-20-27-0000-00-084; 14-20-27-0000-00-005)
5. CHANGE OF ZONING – From Agriculture to R-1 (Single Family Residential) for the property owned by Laura R. Murphy and located at 359 W. Lester Road. (Parcel ID No. 28-20-28-0000-00-060)
6. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – From “County” Rural to “City” Residential Low Suburban (0 – 3.5 du/ac) for property owned by Janine and Richard Edmondson located at 3904 Plymouth Sorrento Road. (Parcel ID No. 24-20-27-0000-00-085)

- 7. CHANGE OF ZONING – From “County” A-2 to “City” R-1AA (Residential Single Family District) for property owned by Janine and Richard Edmondson located at 3904 Plymouth Sorrento Road. (Parcel ID No. 24-20-27-0000-00-085)
- 8. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – From “County” Commercial (Max. 3.0 FAR) to “City” Commercial (Max. 0.25 FAR) for property owned by SunTrust Bank and located at 920 East Semoran Boulevard. (Parcel ID No. 11-21-28-0750-00-050)
- 9. CHANGE OF ZONING – From “County” R-2 & "City" C-2 to “City” C-1 (Retail Commercial) for property owned by SunTrust Bank and located at 920 East Semoran Boulevard. (Parcel ID No. 11-21-28-0750-00-050)
- 10. VARIANCE – Approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article VII, Section 7.01.08 (H) to allow a corner lot fence closer to the property line than the required 25 feet for the property owned by Nilsa Gonzalez and located at 301 McCoy Village Court.
- 11. VARIANCE – Approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 7.01.07(A) to allow for a swimming pool to encroach within the side yard setback for the property owned by Lerome Antione Granger and located at 2173 Hunley Avenue.
- 12. VARIANCE - A variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article VII, Section 7.01.08 (H) to allow a corner lot fence closer to the property line than the required 25 feet for the property owned by Priscilla Torres and Daniel Padilla located at 549 Keyhold Loop.
- 13. VARIANCE – Approve a variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.18 (E) to allow a corner lot house 27.9 feet from the property line, 30 feet is required for property owned by Christopher Wren, c/o DR Horton, Inc. and located at 1686 Spinfisher Drive.

V. SITE PLANS:

- 1. FINAL DEVELOPMENT PLAN – CARTER ELECTRIC – Property owned by Carter Land Development, LLC c/o Douglas Carter and located on the southwest corner of Marshall Lake Road and Bradshaw Road. (Parcel ID No.: 09-21-28-0868-04-000)
- 2. FINAL DEVELOPMENT PLAN – CHURCH'S CHICKEN – Property owned by CHC-845 S Orange Blossom Trail Apopka FL LLC and located at 845 South Orange Blossom Trail. (Parcel ID No.: 11-21-28-0206-00-070)
- 3. PUD MASTER PLAN - FINAL DEVELOPMENT PLAN – RACETRAC – Property owned by Zellwood Properties, LLC, and located on the northwest corner of Hermit Smith Road and US 441. (Parcel ID No.s: 36-20-27-0000-00-024; 01-21-27-0000-00-001)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON APRIL 10, 2018, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle

ABSENT: Jose Molina, Patrice Phillips, Roger Simpson, Orange County Public Schools (Non-voting)

STAFF PRESENT: James Hitt, FRA-RA – Community Development Director, David Moon, AICP - Planning Manager, Richard Earp – City Engineer, Patrick Brackin – City Attorney, Bobby Howell - Senior Planner, Jean Sanchez – Planner I, and Jeanne Green – Recording Secretary.

OTHERS PRESENT: David Boers, Suzanne Kidd, Bryan Potts, David Brown, Teresa Sargeant – Apopka Chief, Stephen Allen, Tom Sullivan, Derek Ryan, Martha Worland, and Juan B. Lugo

OPENING AND INVOCATION: Chairperson Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of March 13, 2018, at 5:30 p.m.

Motion: Tony Foster made a motion to approve the Planning Commission minutes from the regular meeting held on March 13, 2018, at 5:30 p.m. and seconded by John Sprinkle. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle (4-0).

Chairperson Greene asked if there were any corrections or additions to the special meeting minutes of March 20, 2018, at 5:30 p.m.

Motion: John Sprinkle made a motion to approve the Planning Commission minutes from the special meeting held on March 20, 2018, at 5:30 p.m. and seconded by Linda Laurendeau. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle (4-0).

QUASI-JUDICIAL – PUD MASTER PLAN AMENDMENT – 1301 WEST ORANGE BLOSSOM TRAIL - Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the amendment to Ordinance 2292 to amend the PUD Master Plan to create two separate lots for the property owned by Spirit SPE Portfolio CA C-Stores, LLC, located at 1301 West Orange Blossom Trail, subject to the PUD Recommendations and the information and findings in the staff report.

Chairperson Greene stated all of the agenda items are quasi-judicial and anyone giving testimony during a quasi-judicial hearing must be sworn in. He asked that all those who planned to speak during any of these hearings to stand and raise their right hand to be sworn in.

Attorney Brackin swore-in staff, petitioners, and affected parties for the quasi-judicial hearing items

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Bobby Howell, AICP, Senior Planner, stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the amendment to Ordinance 2292 to amend the PUD Master Plan to create two separate lots for the property owned by Spirit SPE Portfolio CA C-Stores, LLC, located at 1301 West Orange Blossom Trail, subject to the PUD Recommendations and the information and findings in the staff report. The applicant is Gray Robinson, P.A., c/o Tom Sullivan, and the engineer is Tannath Design, Inc., c/o Brian Potts. The existing use is a Convenience Store w/ Fueling Stations and the

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proposed use is the same use for Lot 1 and future general business uses on Lot 2. The land use is Commercial and the zoning is PUD/C-2 (Planned Unit Development/Commercial). Lot 1 is 2.045 +/- acres and Lot 2 is 0.895 +/- acre for a total acreage of 2.94 +/- acres.

The subject property is located at 1305 West Orange Blossom Trail and is the site of a gas station and associated convenience store. According to Orange County Property Appraiser records, the gas station was constructed in 1997. Originally a RaceTrac gas station was located on the property. In 2015 the property was sold, and is now the site of a Marathon gas station with an associated convenience store.

On March 6, 2013, the City Council adopted Ordinance 2292, which rezoned the property from C-1 to PUD. The C-1 zoning district only permits gasoline sales through a Special Exception and is limited to four multiple station pumps and two single station pumps. The RaceTrac gas station had over ten fueling stations, and the site was considered a legal, non-conforming use. Ordinance 2292 allows PO/I, CN, C-1, and automotive fuel sales, which is a C-2 district permissible use as permitted uses, and was requested by the former property owner to remove the legal nonconforming status from the property. Exhibit "A" of Ordinance 2292 contains a PUD Master Plan for the RaceTrac gas station and associated convenience store.

The applicant is requesting an amendment to Ordinance 2292 to amend the PUD Master Plan to create two separate lots. Lot 1 identifies the existing Marathon (formerly known as RaceTrac) gas station consisting of a 5,928 square foot convenience store with ten fueling stations. Lot 2 is proposed to remain vacant, but is to be marketed for up to 7,200 square feet of general business uses with 24 parking spaces. The applicant is requesting the PUD Master Plan amendment to split the property and sell Lot 2 in the future.

The applicant is requesting three deviations to the City's required development standards. For a PUD master plan, a deviation from the City's Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD's are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. LDC 2.02.13.G.3 - areas adjacent to nonresidential uses or districts are required to provide a minimum five-foot landscaped bufferyard. The applicant is requesting a joint 5-foot wide landscape buffer between Lot 1 and Lot 2 in lieu of the required five foot wide landscape buffer on each parcel.

Justification: Both sites consist of commercial uses and there will be substantial landscaping within the 5-foot buffer, including 7 Crape Myrtles with 2-inch minimum Caliper 8-foot minimum height, a Sweet Viburnum Hedge 24-inch minimum height 36-inches on center and Parsons Juniper 24-inches on center. The panhandle portion of Lot 1 will remain as open space. The pan handle portion of the property shall be used for open space or stormwater retention only.

2. LDC 6.05.00.D.6.A - requires the minimum requirements for maintenance berms are ten feet around the perimeter of the stormwater pond. The applicant is requesting a reduction in width of the maintenance berm of 10 feet with fencing to 5-feet for Lot 2.

Justification: The proposed concrete wall is setback 10-feet from the property line, due to an existing easement. An additional 10-foot berm on the site side of the wall would take up additional room for recharge of the stormwater ponds, necessary to meet the goals and objectives of the City of Apopka Comprehensive Plan. The proposed pond is dry and will allow for maintenance and upkeep from inside the pond.

3. Development Design Guidelines Section 4.4, Off-street parking - The applicant is requesting a reduction of the requirement of no more than 50% of the required parking spaces in front of the proposed building on Lot 2.

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Justification: Section 4.4 of the Development Design Guidelines does not permit parking areas to be located in the building setback area abutting a residential area. Lot 2 abuts an existing single-family residential subdivision. In addition, a wider landscape island is proposed in front of the proposed building on Lot 2, which increases the amount of open space on site. The reduction also allows for a cross access drive aisle in the future to the Victoria Plaza.

The proposed amendment to Ordinance 2292 is consistent with the City's Commercial Future Land Use category. Development plans shall not exceed the intensity allowed under the adopted Commercial Future Land Use designation.

The Property is located on a major arterial road (West Orange Blossom Trail).The proposed amendment to Ordinance 2292 will not create any land use or traffic compatibility issues with adjacent uses. Development of the site must occur consistent with standards set forth in the Land Development Code and Development Design Guidelines unless otherwise approved within the PUD master plan.

Areas adjacent to all road right of ways shall provide a minimum ten foot landscape bufferyard. Areas adjacent to residential uses or districts shall provide a six foot high masonry wall within a ten-foot landscape buffer. The PUD Master Plan proposes extending an existing six foot high masonry wall located behind the Marathon gas station (Lot 1) along the rear of the proposed Lot 2 as it abuts residential development.

The PUD recommendations are that the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district are PO/I, CN, C-1, and automotive fuel sales, which is C-2 district permissible use.
- B. All development standards set forth in the Land Development Code and Development Design Guidelines shall apply to development within the PUD unless as otherwise allowed and defined as follows:
 - 1. Signage shall comply with the City's sign codes unless otherwise approved through a master sign plan
 - 2. Illumination plan shall be provided with the preliminary or final development plan.
 - 3. No outside activities including but not limited to, outside storage of parts, vending machines, supplies, merchandise or materials.
- C. The C-1 zoning standards shall apply to the development of the subject property unless otherwise established herein this ordinance.
- D. A cross access easement shall be illustrated in the preliminary and final development plans and the plat that connect the U.S. 441 entrance to the eastern boundary of the project, allowing for future connection to the Victoria Plaza.
- E. The parcel split shall occur through a plat at the time of the final development plan application.

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- F. No driveway cut will be allowed onto Old Dixie Highway. The northern panhandle portion of the Property shall only be used as open space or stormwater retention.

The Development Review Committee recommends approval of the amendment to Ordinance 2292, for the property owned by Spirit SPE Portfolio CA C-Stores, LLC, located at 1301 West Orange Blossom Trail, subject to PUD Recommendations and the information and findings in the staff report.

The role of the Planning Commission Role is advisory to City Council; and can recommend to approve, deny or to approve with conditions.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Tom Sullivan, Gray Robinson PA, 301 East Pine Street, Suite 1400, Orlando, stated he represents the applicant. Their position is to position this property for sale. They agree with the staff report and stated he was available to answer any questions.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Tony Foster made a motion to find the proposed amendment consistent with the Comprehensive Plan and recommend approval of the amendment to Ordinance 2292 to amend the PUD Master Plan to create two separate lots; and the deviations from Land Development Code (LDC), Section 2.02.13.G.3 to allow a joint 5-foot wide landscape buffer between Lot 1 and Lot 2 in lieu of the required five foot wide landscape buffer on each parcel; and LDC 6.05.00.D.6.A to allow a reduction in width of the maintenance berm of 10 feet with fencing to 5-feet for Lot 2, for the property owned by Spirit SPE Portfolio CA C-Stores, LLC, located at 1301 West Orange Blossom Trail, subject to the PUD Recommendations and the information and findings in the staff report. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle. (4-0). (Vote taken by poll.)**

QUASI-JUDICIAL – VARIANCE REQUEST – 1350 SHEELER AVENUE - Chairperson Greene stated this is a request to approve a request for variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.15(G)(3), to allow a 30 foot wide landscape buffer in lieu of the required 50 foot wide buffer for the property owned by Little Brownie Properties, Inc., c/o Peter Wood, President, and located at 1350 Sheeler Avenue.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Jean Sanchez, Planner I, stated this is a request for variance of the Apopka Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.15(G)(3), to allow a 30 foot wide landscape buffer in lieu of the required 50 foot wide buffer for the property owned by Little Brownie Properties, Inc., c/o Peter Wood, President, and located at 1350 Sheeler Avenue. The land use is Industrial and the zoning is I-1 (Restricted Industrial). The existing use is a warehouse. The tract size is 21.15 +/- Acres.

Ms. Sanchez stated that Section 2.02.15 (G)(3) – Setback Widths, requires a 50 foot wide buffer where an I-1 Industrial Zoning District abuts a residential use or district. Little Brownie Properties proposes to demolish a few small buildings interior to the site and construct a new building near the southern property line next to an established residential neighborhood. To accommodate internal traffic flow within the Little Brown Property, the building is proposed to be placed closer to the southern property line. To accomplish this, a required 50 foot wide landscape buffer will need to be reduced to thirty feet. Presently, no buffer exists. A 30 foot-wide buffer, though not as wide as the Code requirement, will improve existing buffering to residential homes to the south.

Variance Request - Code Standard, Sec. 2.02.15(G)(3) - Setback Width - Areas adjacent to residential uses or districts shall provide a minimum of 50-foot landscaped bufferyard. The applicant is requesting to be allowed a 30' setback from residential subdivision adjacent to the southern property boundary.

Per Land Development Code Section 10.02.00, the Planning Commission must follow two steps to approve a variance:

Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.

Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODES:

1. Section 2.02.15(G)(3) – Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Applicant’s Response. Because of physical surroundings, topography conditions, and physical conditions (buildings, truck docks, driveways, etc.) that have been in place for many decades, it has posed practical challenges specific to this property.

Staff Response. No objection.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant’s Response: Current conditions and operations of the site, which were built prior to the current owner's purchase of the property, require a significant amount of

space for tractor-trailers to back into south facing bays north of the proposed building. Carrying out the setback to the strict letter of the regulation (50' setback) for the proposed building will create unsafe maneuvering for the tractor trailers and a reduction in the setback to 30' will put the proposed building at the same setback of the two existing building it will be replacing. In addition, elevation differences between the properties to the south and our property will reduce the effects of a masonry wall.

Staff's Response: No objection.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: The request is based on the desire to enhance the property and the properties around it. The reduction in the setback is based solely on operation of the site and not cost.

Staff's Response: No objection. However, Planning staff recommends a condition that no outdoor storage or vehicle parking occur anywhere within thirty feet of the southern property line of the subject Property; and no overnight parking of trucks or trailers shall occur in front of the building facing Sheeler Avenue.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: Although the replacement of two smaller buildings with a large building can potentially increase traffic, it will, in no way, impact it enough to increase congestion on the surrounding public streets.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: As stated before, the new building is intended to enhance the property and the properties around it by moving the property to flex spacing instead of trucking.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The proposed variance will result in better conditions for the property with a larger building acting as a buffer from existing truck activity within the site. In addition, we are committed to enhancing the buffer planting requirements adjacent to the building. We feel these items are in harmony with the general intent of the code.

Staff Response: No objection.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: All buildings on the site were built prior to the current owner's procurement of the property, so special conditions and circumstances do not result from the actions of the applicant.

Staff Response: No objection.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: As noted above, this variance will make possible the reasonable use of the land due to existing conditions and will reduce any potential safety hazards with existing operations currently within the site.

Staff Response: No objection.

Based on the information provided by the applicant at the hearing for the variance requested, the role of the Planning Commission is to first determine that sufficient substantially competent information indicates "whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved." If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Commission has authority to take final action whether it is to approve, deny, or approve with conditions.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Stephen Allen, Civil Corp. Engineering, Inc., 630 N. Wymore Road, Suite 310, Maitland, stated he represented the owner. They agreed with the staff report and he was available to answer any questions.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing.

In response to questions by Martha Worland, 921 Royal Oaks Drive, Apopka, Chairperson Greene stated that if the Planning Commission approves the condition recommended by staff, there will be no outdoor storage or vehicle parking occurring anywhere within thirty feet of the southern property line of the subject property; and no overnight parking of trucks or trailers shall occur in front of the building facing Sheeler Avenue. He stated that Little Brownies Properties, Inc. is not associated with Brownie Septic.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Motion: Linda Laurendeau made a motion to determine a hardship does occur pursuant to Section 10.02.02.A, that the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property owned by Little Brownie Properties, Inc., c/o Peter Wood, President, and located at 1350 Sheeler Avenue. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle. (4-0). (Vote taken by poll.)

Motion: John Sprinkle made a motion to Approve a variance from Section 2.02.15 (G)(3), Land Development Code, to allow a 20 foot reduction from the required 50 foot wide landscape buffer along the southern property line along the approximately 1,281.2 feet of the southern parcel line, measured westward from the Sheeler Avenue right-of-way.

The variance shall expire at the time the site redevelops, allowing conformance to the buffer requirements applicable at that time, for property owned by Little Brownie Properties, Inc., c/o Peter Wood, President, and located at 1350 Sheeler Avenue. Motion seconded by Tony Foster.

Amended

Motion: Linda Laurendeau made a motion to amend the previous motion to include the condition that no outdoor storage or vehicle parking occur anywhere within thirty feet of the southern property line of the subject Property; and no overnight parking of trucks or trailers shall occur in front of the building facing Sheeler Avenue. The amended Motion was seconded by John Sprinkle. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle. (4-0). (Vote taken by poll.)

QUASI-JUDICIAL - PLAT – VISTAS AT WATER’S EDGE, PHASE 1 - Chairperson Greene stated this is a request to find the Vistas at Water’s Edge, Phase 1 Plat consistent with the Land Development Code; and recommend approval of the Plat subject to the findings of the staff report for the property owned by M/I Homes of Orlando, LLC, located south of Hooper’s Farm Road, west and north of Binion Road and west of Harmon Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Mr. Howell stated this is a request to find the Vistas at Water’s Edge, Phase 1 Plat consistent with the Land Development Code; and recommend approval of the Plat subject to the findings of the staff report for the property owned by M/I Homes of Orlando, LLC, located south of Hooper’s Farm Road, west and north of Binion Road and west of Harmon Road. The land use is Mixed-Use (Max. 15 du/ac) and the zoning is Mixed-EC. The existing use is vacant land and the proposed use is a single-family residential subdivision with 80 Lots. The typical lot widths range from 60 feet to 75 feet. The lot sizes range from a minimum of 7,500 square feet to 24,000 square feet. The proposed density is 1.90 du/ac. The tract size is 75.24 +/- acres of which 74.254 is developable acreage with 21.52 +/- acres of open space.

On May 17, 2017, the City Council approved a Final Development Plan and Plat for the Vistas at Water’s Edge, which proposed the development of 143 single family residential lots and 21.52 acres of active and passive recreation space. The Final Development Plan and Plat detailed the subdivision being constructed in one phase with public streets. In 2017, M/I Homes bought the property and submitted a revised Final Development Plan and Plat detailing construction of a gated development in two phases with private streets that are proposed to be owned and maintained by a yet to be established homeowners association. Subdivision infrastructure is in the process of being constructed.

M/I Homes is requesting approval of the Plat for Phase 1 of the Vistas at Water’s Edge, which proposes all internal roadways as private instead of publicly owned and maintained. The Phase 1 plat is for 80 single-family residential lots. The plat for Phase 2 will be submitted in the future. Located within the Mixed-EC zoning district, the proposed subdivision provides a diversity of lot widths and lots sizes for both phases as follows:

Lot Widths (Typical)	Number	Percentage
60	93	66
65	6	4
70	32	22
75	12	8

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The proposed minimum living area, in aggregate of 2,000 square feet, with a no individual unit being less than 1,600 square feet as set forth in Section 2.02.20.B.4 of the Land Development Code. At the time of the final development plan, the developer will be requested to establish criteria to assure a 2,000 square foot aggregate is monitored and maintained during the building permit application cycle.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	5'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

Ingress/egress access points for the development will be via full access onto Binion Road that is gated, and a secondary gated emergency and pedestrian access point west of lot 55 connecting to Binion Road is provided.

There are two (2) retention ponds designed to meet the City’s Land Development Code requirements.

Per Section 2.02.20.H.4a of the Land Development Code, developments made up of less than 300 units shall be required to construct a minimum total of 2,000 square feet of facility or facilities for a Neighborhood Activity Center. The developer is providing 21.52 acres of active and passive recreation space and is proposing to construct a 1,720 square foot clubhouse with swimming pool, picnic area and yoga lawn within the active recreational space. Up to 25% of the Neighborhood Activity Center may be in open type facilities. The developer agreed to place a 30-foot wide landscape buffer along Binion Road and to construct an 11-foot wide multi-use trail. The trail will be dedicated to the City as part of the East Shore Trail System. Furthermore, the Master Plan\PDP included passive parks (aka landscaped focal points) at strategic locations to break up long rows of homes and also provide views of Lake Apopka.

The applicant has provided a thirty (30) foot wide landscape buffer along Binion Road with an eleven (11) foot wide multi-use trail. The applicant has proposed to use a combination of decorative precast and wrought-iron style fence material Binion Road.

The site has previously been cleared and infrastructure has been constructed. The following is a summary of the tree replacement program for this project that was previously agreed to prior to the May 2017 City Council approvals:

Total inches on-site:	2592
Total number of specimen trees:	29
Total inches removed:	1725
Total inches retained:	867
Total inches replaced:	1725
Total Inches (Post Development):	2592

The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Apopka Elementary School, Wolf Lake Middle School and Wekiva High School.

The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

The Development Review Committee recommends approval of the Vistas at Waters Edge, Phase 1 Plat subject to the final review by the City surveyor and city engineer prior to recording the plat.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON APRIL 10, 2018, AT 5:30 P.M.

Staff proposed the Planning Commission recommend approval of the Vistas at Waters Edge, Phase 1 Plat, subject to the Conditions of Approval and final review by the City surveyor and city engineer prior to recording the plat.

The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: David Brown, M/I Homes of Orlando, Inc., 400 International Parkway, Suite 470, Lake Mary, stated he represents the owner. They agree with the staff report and he was available to answer any questions.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Tony Foster made a motion to find the Vistas at Water’s Edge, Phase 1 Plat consistent with the Land Development Code; and recommended approval of the Plat subject to the findings of the staff report for the property owned by M/I Homes of Orlando, LLC, located south of Hooper’s Farm Road, west and north of Binion Road and west of Harmon Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, and John Sprinkle. (4-0). (Vote taken by poll.)**

OLD BUSINESS: None.

NEW BUSINESS: None.

ADJOURNMENT: The meeting was adjourned at 5:59 p.m.

James Greene, Chairperson

James K. Hitt, FRA-RA
Community Development Director



**CITY OF APOPKA
PLANNING COMMISSION**

 CONSENT AGENDA
 X PUBLIC HEARING
 SPECIAL REPORTS
 X OTHER: Master Plan

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Use Map
Ex. A – Master Plan
Ex. B – Trail Connection Plan

**SUBJECT: CHANGE OF ZONING, ASSIGNMENT OF KPC NEIGHBORHOOD
OVERLAY DISTRICT, AND APPROVAL OF MASTER PLAN –
BRIDLE PATH SUBDIVISION**

PARCEL ID NUMBERS: 12-20-27-0000-00-032; 12-20-27-0000-00-090

**REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING
FROM: “COUNTY” PD (ZIP – PLANNED DEVELOPMENT)
TO: “CITY” KPI-MU (KELLY PARK INTERCHANGE
MIXED USE)**

SUMMARY:

OWNER: AHIFO-18, LLC
APPLICANT: VHB – c/o Jim Hall
LOCATION: West of Plymouth-Sorrento Road and east of SR 429, approximately
one-half mile north of the intersection of Kelly Park Road and
Plymouth-Sorrento Road
EXISTING USE: Vacant, abandoned two story house and horse stables
FLUM DESIGNATION: Orange County Rural Settlement
CURRENT ZONING: Orange County Planned Development (PD/ZIP)
PROPOSED DEVELOPMENT: 152 single family homes
PROPOSED ZONING: Kelly Park Interchange Mixed-Use (KPI-MU)
TRACT SIZE: 51 +/- acres

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL INFORMATION: The owner of the subject property is requesting a rezoning of 51 acres of property from Orange County Planned Development (PD/ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU), with a Neighborhood character zone to develop a single-family residential subdivision subject to the requirements of the Kelly Park Interchange Form Based Code. The subject property is comprised of two parcels and is located east of SR 429 and west of Plymouth-Sorrento Road, approximately one-half mile north of the intersection of Kelly Park Road and Plymouth-Sorrento Road. The owner of the properties is AHIFO-18, LLC.

Development Profile:

No. of residential lots:	152	single family homes, detached
Minimum lot width:	50	feet (all lots 50 feet wide)
Minimum lot depth:	100	Feet (all lots 100 feet deep)
Minimum lot size:	5,500	sq. ft. (all proposed\FBC has no minimum lot size)
Minimum house livable area:	1,200	sq. ft. (proposed\FBC does not address)

Setbacks:

Front:	Min. 15 ft – Max. 30 ft
Rear:	Min. 20 ft
Side:	Min. 5 ft
Garage:	Same as front
Overflow Parking	None
Driveway length:	Min. 15 ft – Max. 30 ft.
On-street parking:	None proposed
Max. number of floors:	Two
Parking:	Two space per house within the lot (enclosed or exterior; FBC does not require enclosed parking)

Amenities:

- Pool house with cabana; no parking
- Walking paths around stormwater ponds (developer proposes mulch\staff recommends established surface – concrete or asphalt)
- Regional Trails: two – along Plymouth-Sorrento Road, and internal along stormwater pond and wetland edges.

In accordance with the requirements of the Kelly Park Interchange Form Based Code, the owner has submitted a Master Plan in conjunction with the rezoning application detailing the development of 152 single-family homes on 51 acres. The property currently has a future land use designation of Orange County Rural Settlement. On May 16, 2018 the City Council will consider adoption of a large-scale future land use amendment for the subject property; which if approved, will change the future land use designation of the property from Orange County Rural Settlement, to City of Apopka Mixed Use Interchange, which is a consistent future land use category with the KPI-MU zoning designation. The property is located within the one-mile radius from the SR 429/Kelly Park Road interchange.

PROJECT DESCRIPTION: The Master Plan proposes development of the property with a total of 152 single-family homes on 50-foot by 110-foot wide lots and a minimum living area of 1,200 square feet. There are no minimum and maximum lot size and living area requirements in the Form Based Code. Notes

provided on the Master Plan indicate the project may be developed in multiple phases, with each phase determined upon submittal of the Final Development Plan. The Master Plan details design of the proposed subdivision in accordance with the requirements of the Kelly Park Interchange Form Based Code, and the Neighborhood character zone, which primarily allows single-family homes as permitted uses. The surrounding properties consist of single-family residential and agricultural uses.

Access to the site is proposed via Plymouth-Sorrento Road. A dedication of a 30-foot wide strip for future right-of-way needs for Plymouth-Sorrento Road is detailed on the Master Plan. Behind this strip, a 30-foot area will be reserved for a landscape buffer along Plymouth-Sorrento Road. A wetland area exists in the northwest corner of the development. A spring is located within the wetland area. Per the Comprehensive Plan, a 300-foot buffer will be provided around the spring. Stormwater ponds are located in the southwestern corner of the site. Four-foot wide walking paths are provided around the perimeter of the ponds. 20-percent of the total site area will remain as open space in accordance with the requirements of the Form Based Code. Common recreation elements include a clubhouse with a pool, an internal trail system, preserved wetlands, upland buffers, and a park/stormwater facility.

The Master Plan details the design of the internal street system with public streets utilizing a walkable grid design, which is a fused grid design that includes varied street, sidewalk and pedestrian pathways throughout a development that links developments. Three roadway connections will be provided to allow cross-access to the properties to the north and south at such time they develop. A 10-foot wide trail will be constructed within the development, and connections to the properties to the north and south will be provided to facilitate development of a regional trail system. A cul-de-sac is provided in the southwestern corner of the site, adjacent to the park and stormwater pond, and is provided to accommodate trail connection and to create an open space corridor along stormwater pond system and wetland area.. Properties adjacent to the cul-de-sac will have access to the trail system which will allow pedestrian access to the common areas internal to the development. The developer will provide a 12-foot wide multi-purpose trail along the portion of the development abutting Plymouth-Sorrento Road to help facilitate the construction of the regional trail system.

DEVELOPMENT AND ZONING CONDITIONS OF APPROVAL: That the zoning classification of the following described property be designated as Kelly Park Interchange Mixed-Use (KPI-MU), Neighborhood character zone, as defined in the Kelly Park Interchange Form Based Code, and with the following provisions:

1. Development of the property is subject to the requirements of the Kelly Park Interchange Form Based Code, Neighborhood character zone.
2. The architectural design of the buildings must be consistent with Section K.2.g, and Appendix A of the Kelly Park Interchange Form Based Code.
3. A 10-foot wide trail will be constructed within the development, connecting to future developments to the properties located to the north and south will be provided to facilitate development of a regional trail system, generally as shown on the Exhibit within the Staff Report. (Policy 20.19, FLUE; Sec. Q, FBC)

4. A 12-foot wide multi-purpose trail will be constructed along the portion of the development abutting Plymouth-Sorrento Road to facilitate the construction of a regional trail system. (Policy 20.19, FLUE; Sec. Q, FBC). The trail shall be placed in an easement or tract.
5. Perpetual easements dedicated to the City of Apopka shall be provided over the internal pedestrian pathways and trail networks to allow public access.
6. A minimum living area of 1,200 square feet shall be provided.
7. A development agreement shall address the extension of utilities, dedication of rights-of-way, and public access to regional trail facilities.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Mixed-Use Interchange Future Land Use designation and is consistent with the Kelly Park Interchange Form Based Code.

SCHOOL CAPACITY REPORT: A School Capacity Enhancement Agreement has been approved by OCPS. The location is served by the following schools: Zellwood Elementary, Wolf Lake Middle, and Wekiva High School. No development activity shall occur on the subject property until the developer has obtained a school concurrency mitigation agreement or letter from OCPS.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, Orange County was notified on April 3, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)
June 6, 2018 - City Council (1:30 pm) - 1st Reading
June 20, 2018 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

April 27, 2018 – Public Notice; Letter, Poster

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Kelly Park Interchange Mixed-Use (KPI-MU), and assignment of a Neighborhood character zone consistent with the Comprehensive Plan and Kelly Park Interchange Form Based Code, and recommends approval of the Bridle Path Master Plan.

Recommended Motion: Find the proposed zoning and Master Plan consistent with the Comprehensive Plan and Land Development Code and Neighborhood Overlay District, and recommend to approve the rezoning of the subject parcels from Orange County Planned Development (PD/ZIP) to Kelly Park Interchange Mixed-Use (KPI-MU) and the KPC Neighborhood Overlay District, and approval of the Master Plan based on the findings and facts presented in the staff report, exhibits, and City Council approval of a Development Agreement.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Rural	A-1 (ZIP)	Single-family residential/woodlands
East (County)	Rural	A-1	Woodlands/Plymouth-Sorrento Road
South (City)	Rural	RCE-2 (ZIP)	Equestrian track
West (City)	None	SR 429 right-of-way	SR 429

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Plymouth-Sorrento Road. Internal streets are public and will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential, and agricultural.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Kelly Park Interchange Mixed-Use (KPI-MU) zoning is compatible with policies set forth in the Comprehensive Plan.

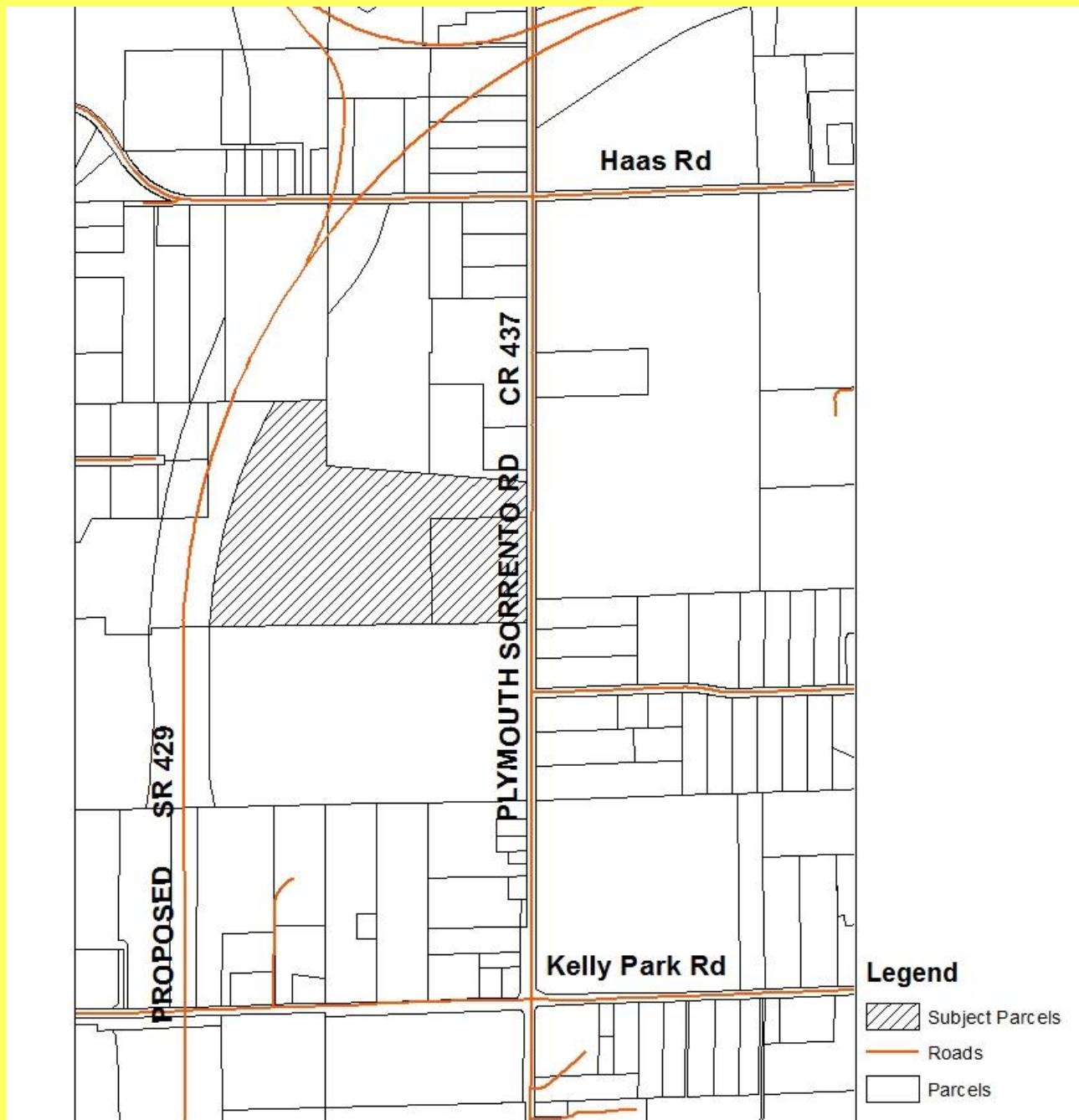
ALLOWABLE USES:

Single-family residential uses as set forth within the Master Plan.

Project: BRIDLE PATH
Owned by: AHIFO-18, LLC
Located: WEST OF PLYMOUTH-SORRENTO ROAD AND EAST OF SR 429
Parcel ID#s: 12-20-27-0000-00-032, 12-20-27-0000-00-090

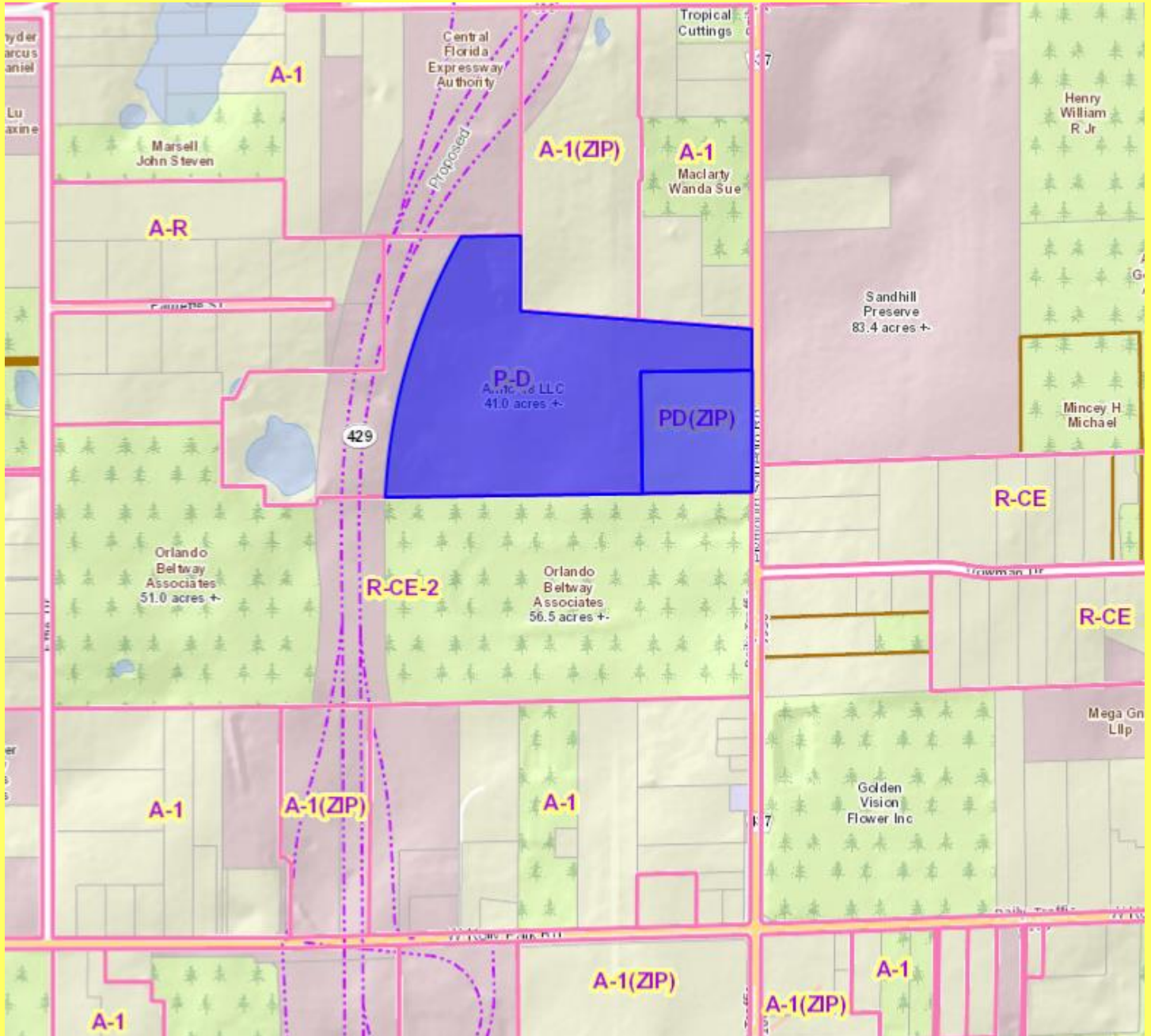


VICINITY MAP



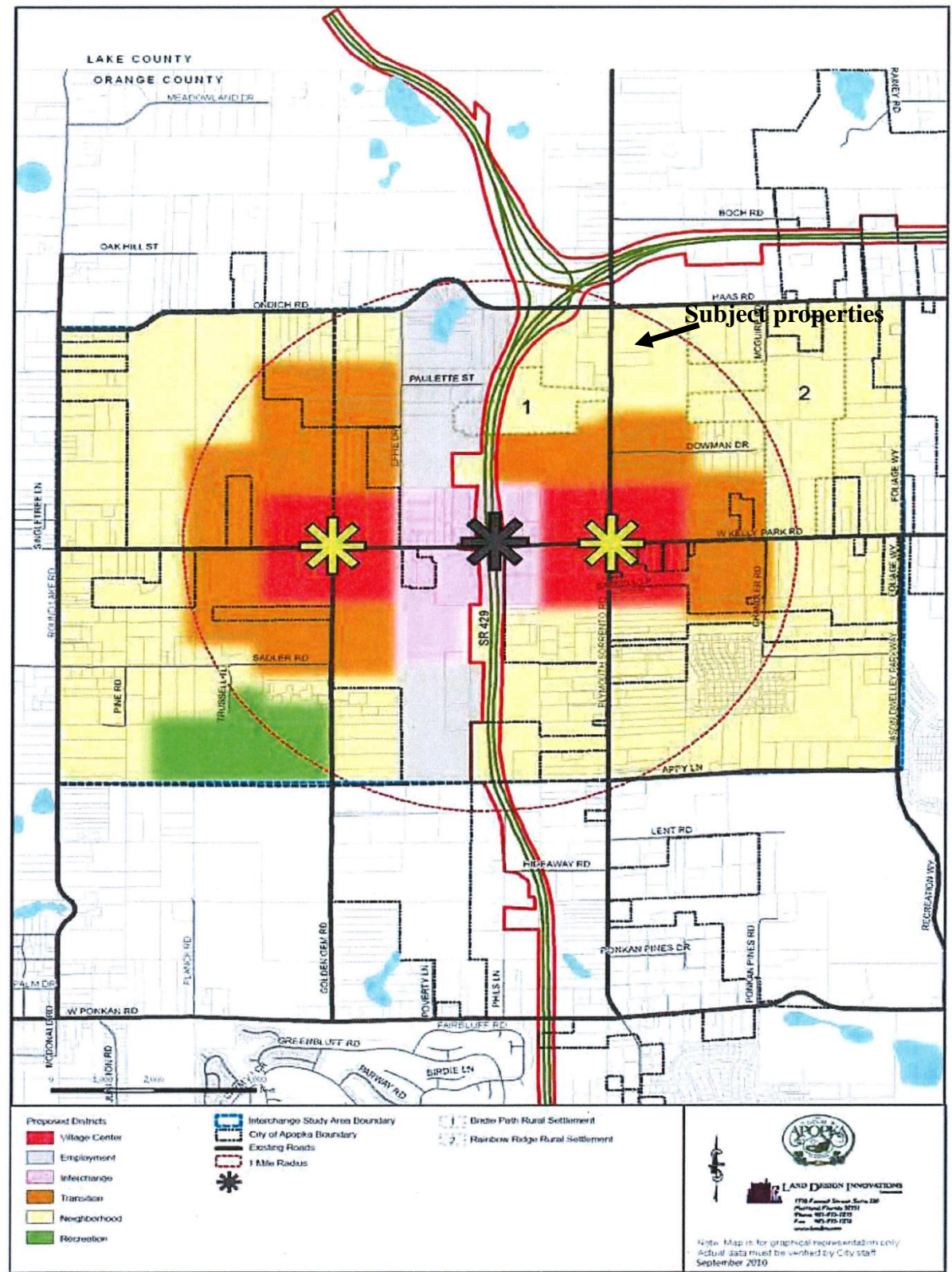


ADJACENT ZONING





Kelly Park Crossing Form-Based Code Area



Master Plan

Issued for: Zoning Approval

Date Issued: September 6, 2017

Latest Issue: April 10, 2018

Sheet Index

Number	Drawing Title	Latest Issue
2	Existing Conditions	9/6/2017
3	Concept Plan & Site Data	4/10/2018
SV-1	Boundary Survey	9/1/2017



LEGAL DESCRIPTION

A portion of land being in the East half of Section 12, Township 20 South, Range 27 East, Orange County, Florida and being more particular described as follows:
Commence at the northeast corner of the northeast quarter of said section 12; thence run along the East line of said northeast quarter, South 00° 01' 00" East, 1876.78 feet, thence leaving said East line run North 85° 37' 03" West, 30.08 feet to a point on the West Right of Way line for Plymouth Sorrento Road, said point also being the POINT OF BEGINNING; thence run along said West Right of Way line, South 00° 01' 00" East, 930.76 feet; thence leaving said West Right of Way line run, South 89° 12' 07" West, 2091.52 feet to a point on the easterly Right of Way line of State Road 429 (Wekiva Parkway), said point being on a non-tangent curve, concave to the East, having a radius of 3300.00 feet, central angle of 027° 07' 49", a chord bearing of North 16° 12' 47" East and a chord distance of 1548.04 feet; thence run along said easterly Right of Way line and arc of said curve 1562.59 feet to a point of non-tangency; thence leaving said Right of Way line run, North 89° 17' 05" East, 339.10 feet; thence run, South 00° 09' 41" West, 429.58 feet; thence run, South 85° 37' 03" East, 1324.83 feet to the POINT OF BEGINNING.

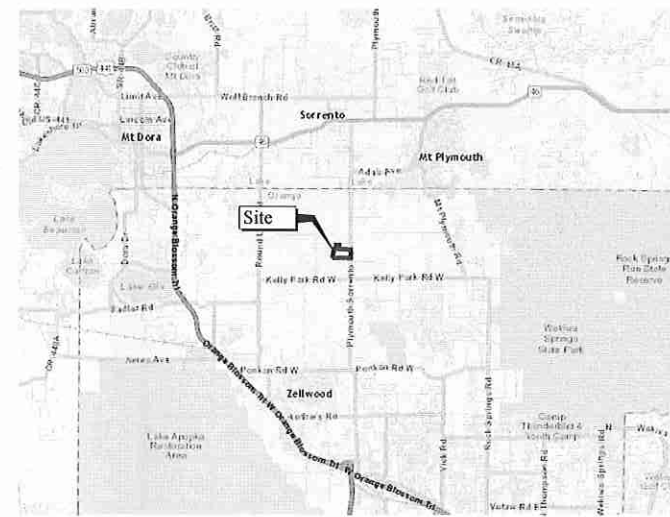
Said portion of land contains 51.061 Acres more or less.



Bridle Path Mixed KPI Concept Plan

City of Apopka, Florida

Parcel ID: 12-20-27-0000-00-032
12-20-27-0000-00-090



Site Location Map



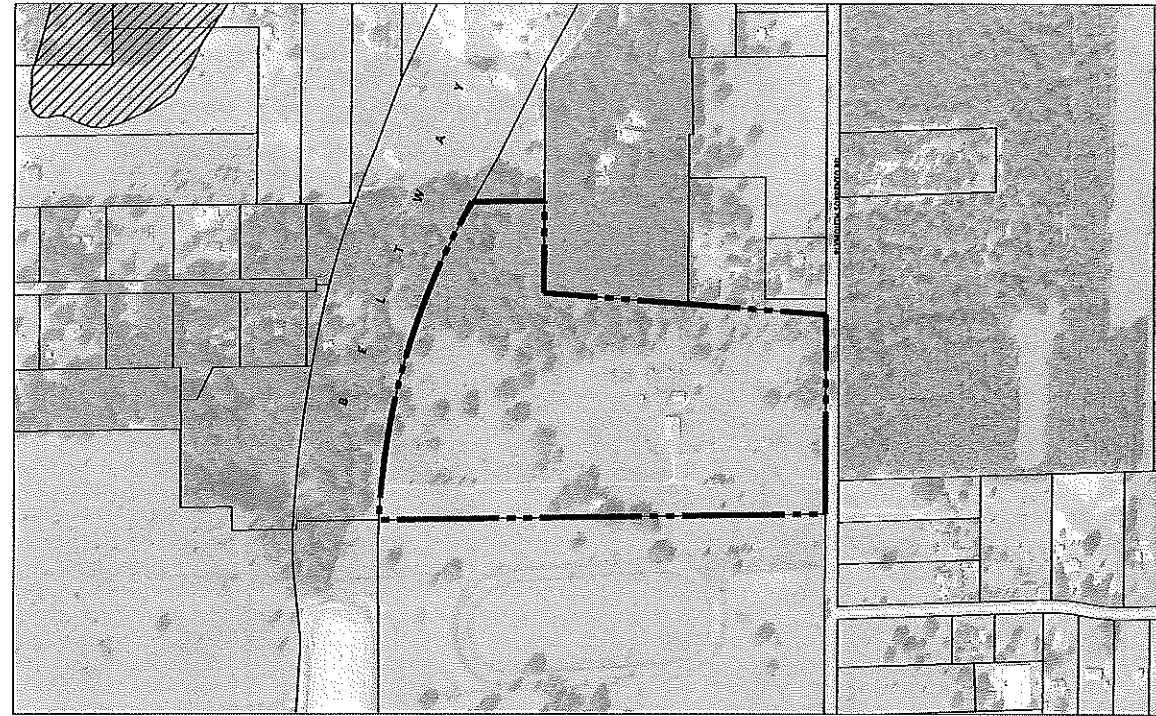
225 E. Robinson Street, Suite 300
Orlando, Florida 32801
407.839.4006 • FAX 407.839.4008
Certificate of Authorization Number FL #3932

Property Information

Owner:
Ahifo-18 LLC.
1800 N Military Trl Ste 470
Boca Raton, Florida 33431
Phone: 407.839.4006

Urban Planner/Civil Engineer:
VHB
225 E. Robinson Street, Suite 300
Orlando, Florida 32801
Phone: 407.839.4006 • Fax: 407.839.4008

Surveyor:
VHB
225 E. Robinson Street, Suite 300
Orlando, Florida 32801
Phone: 407.839.4006 • Fax: 407.839.4008



Floodplain (100 Year)

 Flood Prone Area

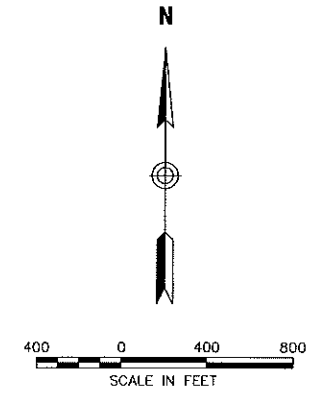
Source:
Orange County GIS, 2017



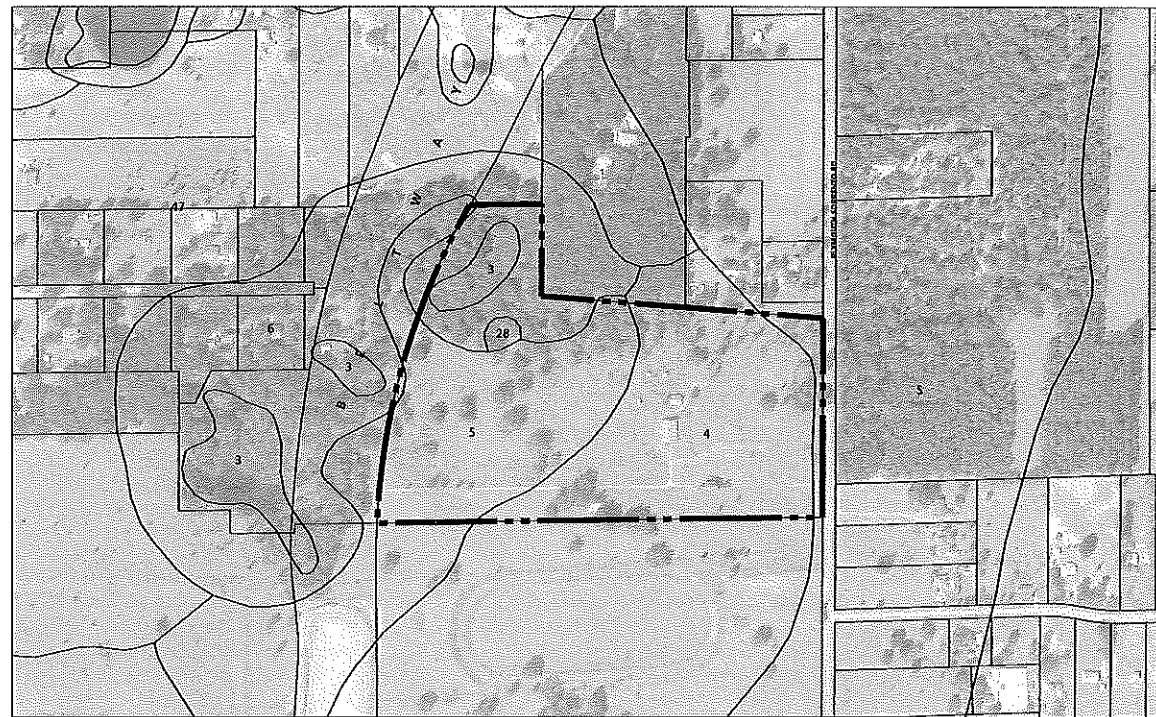
Topography

 Topographic Contour

Source:
Orange County GIS, 2017



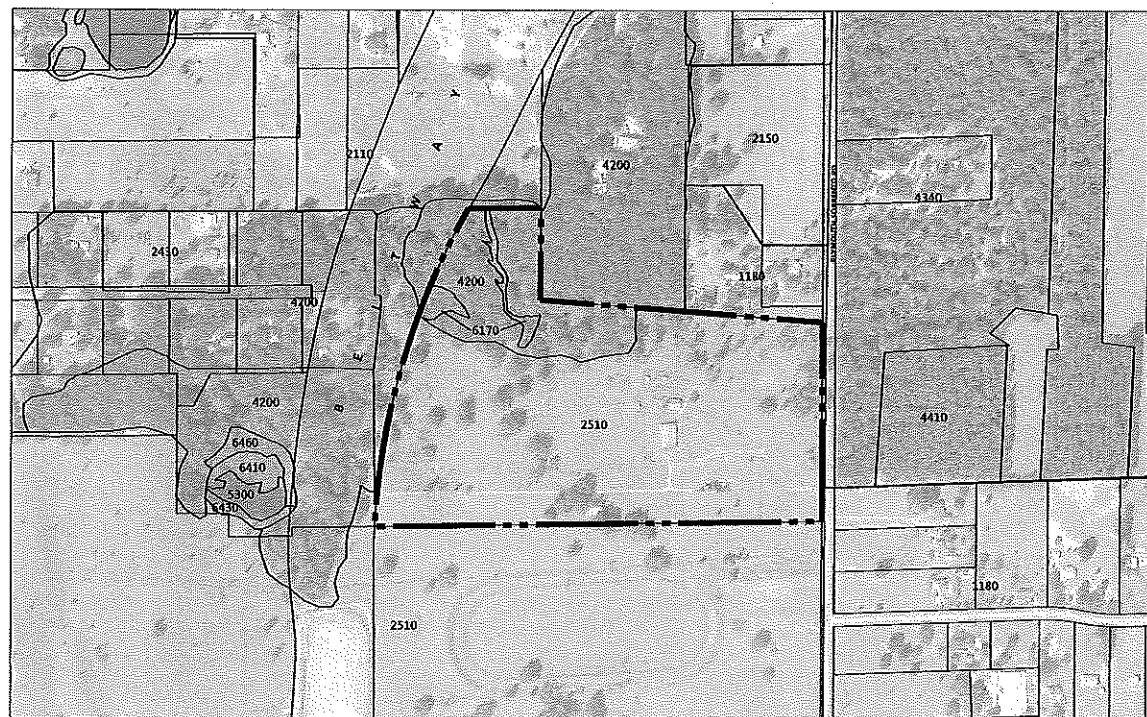
No.	Revision	Date	App'd.



Soils

Soil Code	Description
3	Basinger Fine Sand, depressionai
4	Candler Fine Sand, 0 to 5 percent slopes
5	Candler Fine Sand, 5 to 12 percent slopes
6	Candler-Apopka Fine Sand, 5 to 12 percent slopes
28	Florahome fine sand, 0 to 5 percent slopes
47	Tavares-Millhopper fine sand, 0 to 5 percent slopes

Source:
Orange County GIS, 2017



Vegetation

Code	Description
2510	Horse Farms
4200	Upland Hardwood Forests
4340	Upland Mixed Coniferous/Hardwood
6170	Mixed Wetland Hardwoods

Source:
FLUCFCS, 2017



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Transportation
Land Development
Environmental Services
225 E. Robinson Street, Suite 300
Orlando, Florida 32801
407-839-4006 • FAX 407-839-4008
Certificate of Authorization Number 3932

Bridle Path PD
Environmental Conditions
City of Apopka, Florida

Date	Project Number
April 10, 2018	61924.00

SITE DATA

Gross Acres	51.06 ac
Preserved Wetlands/Uplands	6.88 ac
Stormwater (16%)	7.01 ac
Developable Acres	37.17 ac
Proposed Development Program	
Single Family	152 Du
Net Density	4.1 Du/ac

SITE DATA TABLE	
PARCEL ID NUMBER	12-20-27-0000-00-032; 12-20-27-0000-00-030
EXISTING FUTURE LAND USE	ANNEX
PROPOSED FUTURE LAND USE	MIXED-USE
EXISTING ZONING	ZIP
PROPOSED ZONING	MIXED-KPI
ADJACENT FUTURE LAND USE	NORTH: Annex SOUTH: Annex EAST: Rur2(County) WEST: Annex
ADJACENT ZONING	NORTH: ZIP SOUTH: R-CE EAST: ZIP WEST: ZIP
ACREAGE/SQUARE FOOTAGE	51 ac
BUILDING HEIGHT	PROPOSED: 35' MAX: 35'
DENSITY	PROPOSED: 4.1 Du/ac MAX: 5 Du/ac
BUILDING SETBACKS	PROPOSED: FRONT: 15' SIDE: 5' REAR: 20' CORNER: 10'/75" REQUIRED: FRONT: 15' SIDE: 5' REAR: 20' CORNER: 10'
PARKING SPACES	PROVIDED: 290 REQUIRED: 290
NUMBER OF EMPLOYEES	N/A
PROPOSED NUMBER OF BEDS	N/A
WARRANT REQUEST	YES: NO: X
VARIANCE REQUEST	YES: NO: X

*WHERE REAR YARD OF CORNER LOT ABUTS SIDE YARD OF ADJACENT LOT, CORNER SIDE SETBACK SHALL BE 15'

Land Use	DUs	Student Generation	Elementary School	Student Generation	Middle School	Student Generation	High School
Single Family	152	0.191	29	0.095	15	0.181	30
Total	152	0.191	29	0.095	15	0.181	30

Land Use	DUs	ITE	Daily Trips	AM Peak Trips	PM Peak Trips
Single Family	152	0.191	1,538	31	87
Total	152	0.191	1,538	31	87

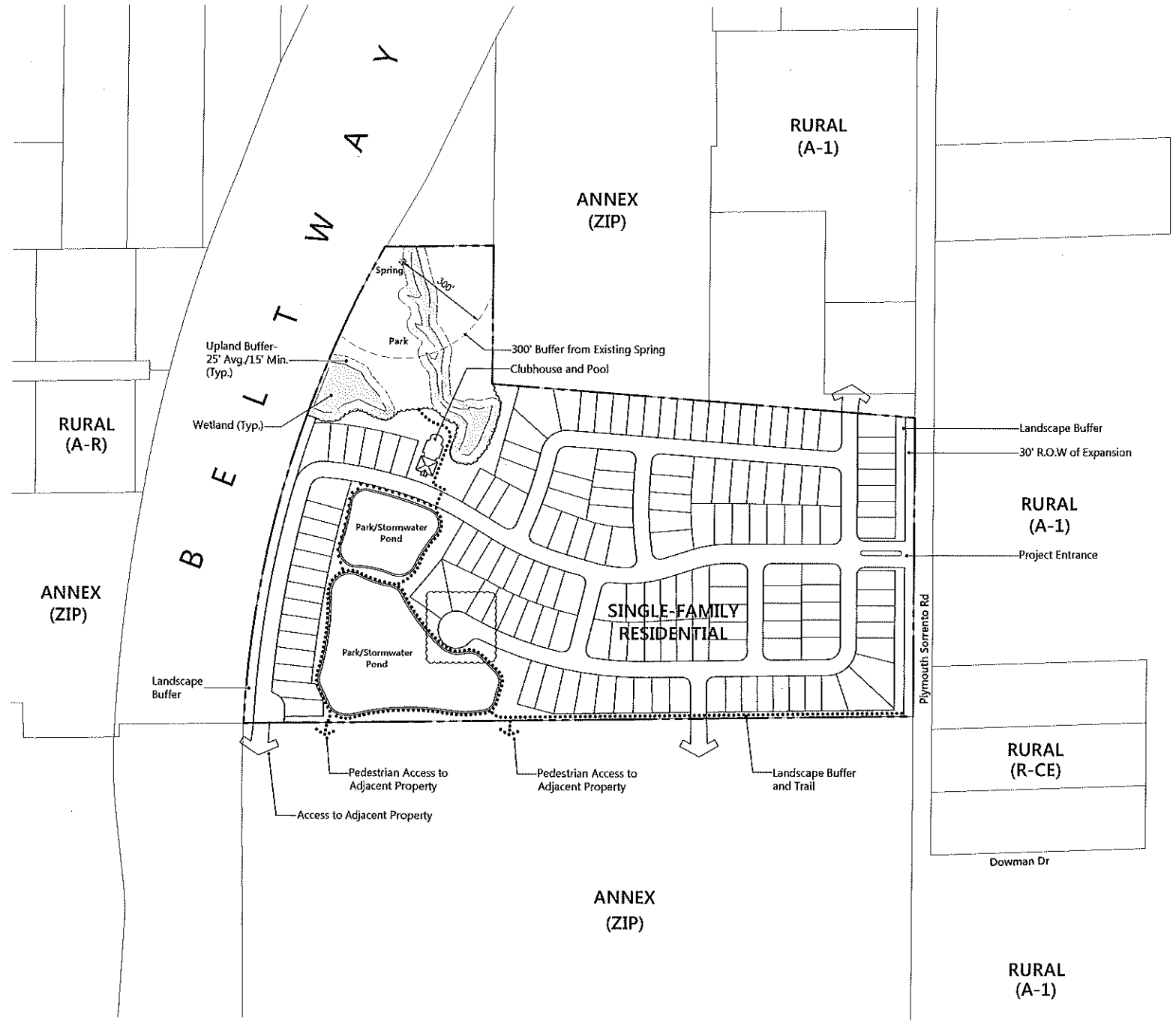
Minimum Living Area	1,200 sq ft
Minimum Lot Width	50 feet
Minimum Lot Depth	110 feet
Maximum Block Length	500 feet
Parishes	Width: minimum 12 feet Depth: minimum 4 feet
Rear Accessory Structure	10 feet
Garage Standards	Front loaded minimum 4 feet recess from primary facade minimum 50% of front facade
Open Space	Required: 20% Provided: 20%

Project Phasing
The Bridle Path project may be developed in multiple phases, with each respective phase determined at Final Development Plan.

- Project Notes**
- The plan is conceptual in nature and subject to final survey, environmental, geotechnical, stormwater/engineering evaluation and agency review.
 - Boundary is based on Orange County GIS information. All lot counts are subject to change based on EIR survey information.
 - Project proposes a large-scale land use amendment from Annexation to Mixed Use and rezoning from ZIP to MIXED-KPI.
 - On-street parking is permitted on one side of the street.
 - Additional development standards for the Neighborhood Overlay Zone of the Kelly Park FIC shall be applied.
 - Where feasible, green building principles shall be applied.
 - All structures, including residential homes, commercial area, and subdivision entry signage shall comply with Kelly Park Interchange Form Based Code, Section 4 - Building Design Standards (Adopted June 21, 2017).
 - Where feasible, existing trees shall be preserved in accordance with Section 4.5 of the Design Development Guidelines.

TOTAL GROSS AREA	REQUIRED OPEN SPACE (20%) ⁽¹⁾	PROVIDED OPEN SPACE ⁽²⁾
51.06 ac.	10.21 ac.	PRESERVED WETLANDS 11.00 ac. UPLAND BUFFERS 1.37 ac. PRESERVED UPLANDS 4.51 ac. OPEN SPACE 7.16 ac. ASSEMBLY AREA 0.55 ac. PARK/STORMWATER 7.01 ac. TOTAL 16.70 ac.

(1) PER SECTION 4.5 OF THE KELLY PARK INTERCHANGE FORM BASED CODE 25% OF THE TOTAL AREA WITHIN THE NEIGHBORHOOD CHARACTER ZONE SHALL BE PUBLIC OPEN SPACE.
 (2) PER SECTION 4.5 OF THE KELLY PARK INTERCHANGE FORM BASED CODE PUBLIC OPEN SPACES COVERED AS A BUFFER OR LANDSCAPED AREA IS USED PRIMARILY FOR PASSIVE RECREATION ACTIVITIES (E.G. WALKING, BIKING, OR FOR PURPOSES OF ENVIRONMENTAL CONSERVATION, SPECIFICALLY INCLUDING GREEN SPACES, PAVED AND UNPAVED PATHWAYS, OUTDOOR RECREATION FACILITIES, WETLANDS, WOODLANDS, AND NATURAL COMMUNITY CONSERVATION AREAS AND PRESERVED, PUBLIC USE, AND STORMWATER AREAS THAT ARE VISUALLY IDENTIFIED.



Legend

- Project Boundary
- RURAL (A-1)
- Future Land Use (Zoning)
- Trail

North arrow pointing up.

Scale bar: 200 0 200 400
SCALE IN FEET

No.	Revision	Date	App'd.

Planning + Design Studio
 Transportation
 Land Development
 Environmental Services
 225 E. Robinson Street, Suite 300
 Orlando, Florida 32801
 407-839-4006 • FAX 407-839-4008
 Certificate of Authorization Number 3932
 Project Title

Bridle Path PD

Site Plan

City of Apopka, Florida

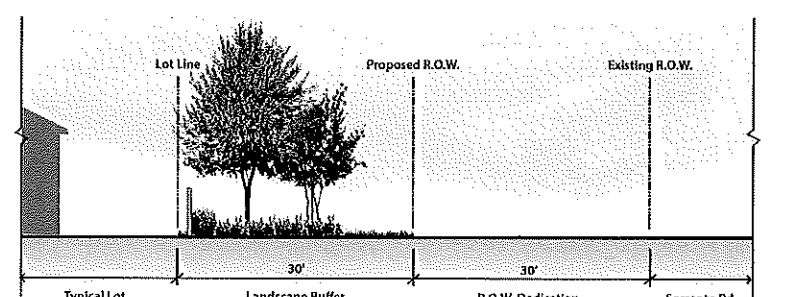
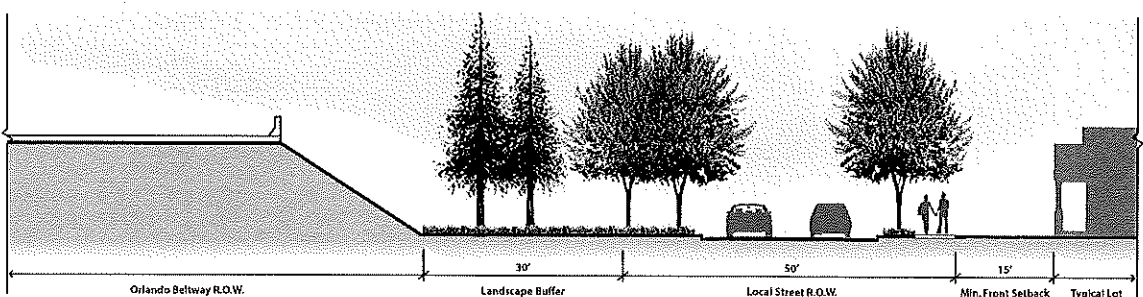
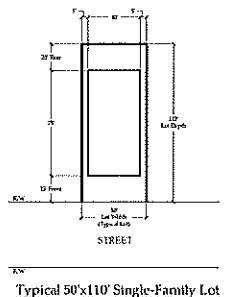
Sheet Title: **C-3**

Sheet Description: **Drainage**

Scale: _____ Sheet of _____

Date: **April 10, 2018** Project Number: **61924.00**

61924.00 - BRIDLE PATH PD-SITE PLAN.DWG





225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Licensed Business LB7153

Legend

- (C) = CALCULATED DISTANCE
- CHB = CURVE CHORD BEARING
- CHD = CURVE CHORD DISTANCE
- CMON = CONCRETE MONUMENT
- (D) = DEED DIMENSION
- (F) = FIELD MEASURED DIMENSION
- FND = FOUND
- ID. = IDENTIFICATION
- L = LENGTH OF CURVE
- LB = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- O.R. = OFFICIAL RECORD BOOK
- (P) = PLAT DIMENSION
- P.C. = POINT OF CURVATURE
- PG. = PAGE
- P.R.C. = POINT OF REVERSE CURVATURE
- PRM = PERMANENT REFERENCE MARKER
- R = CURVE RADIUS
- R/W = RIGHT OF WAY
- △ = DELTA OR CENTRAL ANGLE
- = BACK FLOW VALVE
- = FIRE HYDRANT
- = POWER POLE
- = SANITARY VALVE COVER
- = UTILITY MARKER
- = WIRE PULL BOX

BOUNDARY SURVEY
for
Hailey Development, LC

3905 National Drive, Suite 105
Burtonsville, MD 20866

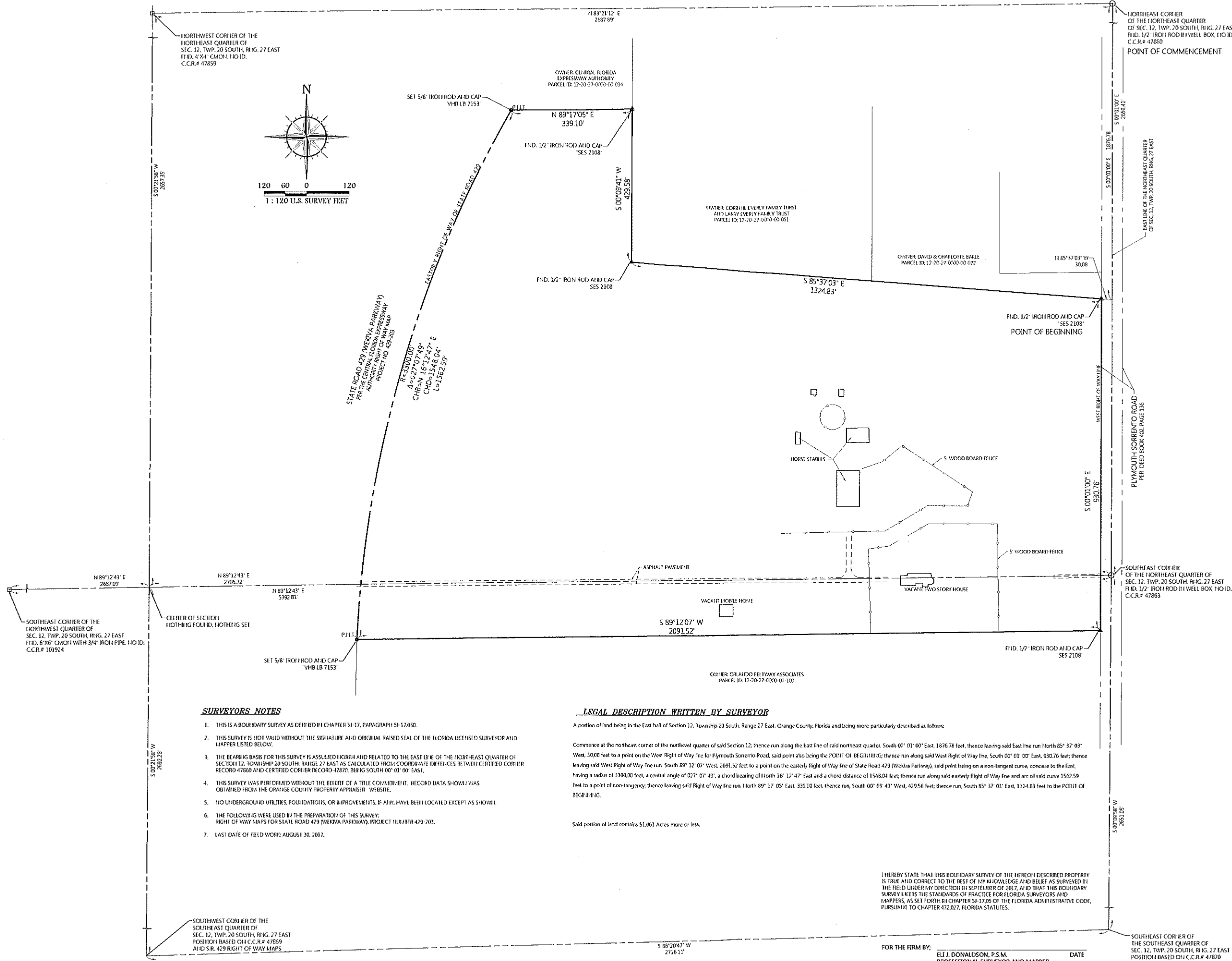
No.	Revision	Date	Appr.

Designed by: _____ Checked by: _____
Drawn by: _____ Date: September 1, 2017

Drawing Number
Sv-1

Sheet 1 of 1

Project Number
62799.00



SURVEYORS NOTES

- THIS IS A BOUNDARY SURVEY AS DEFINED BY CHAPTER 53-17, PARAGRAPH 53-17.050.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER LISTED BELOW.
- THE BEARING BASIS FOR THIS SURVEY IS ASSUMED NORTH AND RELATED TO THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 27 EAST AS CALCULATED FROM COORDINATE DIFFERENCES BETWEEN CERTIFIED CORNER RECORD 47850 AND CERTIFIED CORNER RECORD 47870, BEARING SOUTH 00° 01' 00" EAST.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. RECORD DATA SHOWN WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER WEBSITE.
- NO UNDERGROUND UTILITIES, FOUNDATIONS, OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
- THE FOLLOWING WERE USED IN THE PREPARATION OF THIS SURVEY: RIGHT OF WAY MAPS FOR STATE ROAD 429 (WEKIVA PARKWAY), PROJECT NUMBER 429-203.
- LAST DATE OF FIELD WORK: AUGUST 30, 2017.

LEGAL DESCRIPTION WRITTEN BY SURVEYOR

A portion of land being in the East half of Section 12, Township 20 South, Range 27 East, Orange County, Florida and being more particularly described as follows:

Commence at the northeast corner of the northeast quarter of said Section 12; thence run along the East line of said northeast quarter, South 00° 01' 00" East, 1876.78 feet, thence leaving said East line run North 85° 37' 03" West, 30.08 feet to a point on the West Right of Way line for Plymouth Sorrento Road, said point also being the POINT OF BEGINNING; thence run along said West Right of Way line, South 00° 01' 00" East, 930.76 feet; thence leaving said West Right of Way line run, South 89° 12' 07" West, 2091.52 feet to a point on the easterly Right of Way line of State Road 429 (Wekiva Parkway), said point being on a non-tangent curve, concave to the East, having a radius of 3300.00 feet, a central angle of 027° 07' 49", a chord bearing of North 16° 17' 49" East and a chord distance of 15484.04 feet, thence run along said easterly Right of Way line and arc of said curve 1562.59 feet to a point of non-tangency; thence leaving said Right of Way line run, North 89° 17' 05" East, 339.10 feet, thence run, South 00° 09' 41" West, 429.58 feet; thence run, South 85° 37' 03" East, 1324.83 feet to the POINT OF BEGINNING.

Said portion of land contains 51.061 Acres more or less.

HEREBY STATE THAT THIS BOUNDARY SURVEY OF THE HEREOF DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN SEPTEMBER OF 2017, AND THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE FOR FLORIDA SURVEYORS AND MAPPERS, AS SET FORTH IN CHAPTER 53-17.05 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.07, FLORIDA STATUTES.

FOR THE FIRM BY: ELI J. DONALDSON, P.S.M. DATE _____
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. 6984

SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SEC. 12, TWP. 20 SOUTH, R. 27 EAST POSITION BASED ON C.C.R.# 47869 AND S.R. 429 RIGHT OF WAY MAPS

SOUTHEAST CORNER OF THE SOUTHEAST QUARTER OF SEC. 12, TWP. 20 SOUTH, R. 27 EAST POSITION BASED ON C.C.R.# 47870 AND S.R. 429 RIGHT OF WAY MAP

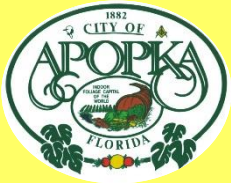
EXHIBIT "B"

Regional Trail and Pedestrian Paths Connections

Yellow – Pedestrian Paths

Pink – Regional Trail Connection





**CITY OF APOPKA
PLANNING COMMISSION**

<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	May 8, 2018
<input type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Future Land Use Map
		Adjacent Zoning Map
		Adjacent Uses Map

SUBJECT: COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – LYNN R. FONTAINE

PARCEL ID NO.: 35-20-27-0000-00-037

**REQUEST: RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – LYNN R. FONTAINE
FROM: “COUNTY” RURAL
TO: “CITY” RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC)**

SUMMARY:

OWNER/APPLICANT: Lynn R. Fontaine
LOCATION: 4353 McDonald Gley Rd.
EXISTING USE: Single Family Home
CURRENT ZONING: “County” A-1
PROPOSED DEVELOPMENT: Single Family Home
PROPOSED ZONING: “City” RCE-2 (Note: this Future Land Use amendment request is being processed along with a request for change of zoning from “County” A-1 to “City” RCE-2 (Residential Country Estate).
TRACT SIZE: 5.2 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 10 Single Family Homes
PROPOSED: 10 Single Family Homes

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcel was annexed in the city on April 18, 2018 by Ordinance 2641. Presently, the subject property does not have a “city” future land use designation or “city” zoning classification assigned. The applicant requests a future land use designation of “city” Residential Very Low Suburban.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Residential Very Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Very Low Suburban FLUM designation at the subject site:

Future Land Use Element

1. **Policy 3.1.c**

Very Low Density Suburban Residential

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools, high schools; supporting infrastructure of less than two acres, neighborhood parks.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase in the number of residential units by more than nine which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION:

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)
May 16, 2018 - City Council (7:00 pm) - 1st Reading
June 6, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

April 24, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Very Low Suburban for the property owned by Lynn R. Fontaine, and located at 4353 McDonald Gley Road.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from “County” Rural to “City” Residential Very Low Suburban, subject to the findings of the Staff Report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City and County)	“City” Agriculture and “County” Rural	“City” Agriculture and “County” A-1	Agriculture and Single Family Homes
East (City)	Residential Low Suburban	R-1A	Subdivision (Chandler Estates)
South (City and County)	“City” Residential Low Suburban and “County” Rural	“City” R-1A and “County” A-1	Single Family Homes
West (County)	Rural	A-1	Single Family Home

II. LAND USE ANALYSIS:

The subject property is located on a site that is ideal for residential use, which makes the request for a Residential Very Low Suburban future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

Properties to the south, north and west are low density single-family homes. The Chandler Estates subdivision is to the east. Due to the connection of a local road, and no presence of collector or arterial roads, staff views this property as favorable for a residential very low future land use designation.

The proposed Residential Very Low Suburban future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is not located within the “Northern Area” of the JPA. The proposed FLUM Amendment request for a change from “County” Rural (0-10 du/ac) to “City” Residential Very Low Suburban (0-2 du / ac) is consistent with the terms of the JPA (Second Amendment). Lynn R. Fontaine is the applicant of the proposed future land use amendment and proposed change of zoning for the Property, and has been notified of the hearing schedule.

Transportation: Road access to the site is from McDonald Gley.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The property comprises mostly of grasslands, with some tree cover. Additionally, the property has a single family home.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Residential Very Low Suburban (0-2 du / ac). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population

CALCULATIONS:

ADOPTED: 1 Unit(s) x 2.659 p/h = 3 persons

PROPOSED: 2 Unit = 6 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 3,528 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD
3. Projected total demand under proposed designation: 3,780 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 4 lbs/ day
4. Projected LOS under proposed designation: 192 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm

4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.009 acres
3. Projected facility under proposed designation: 0.144 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

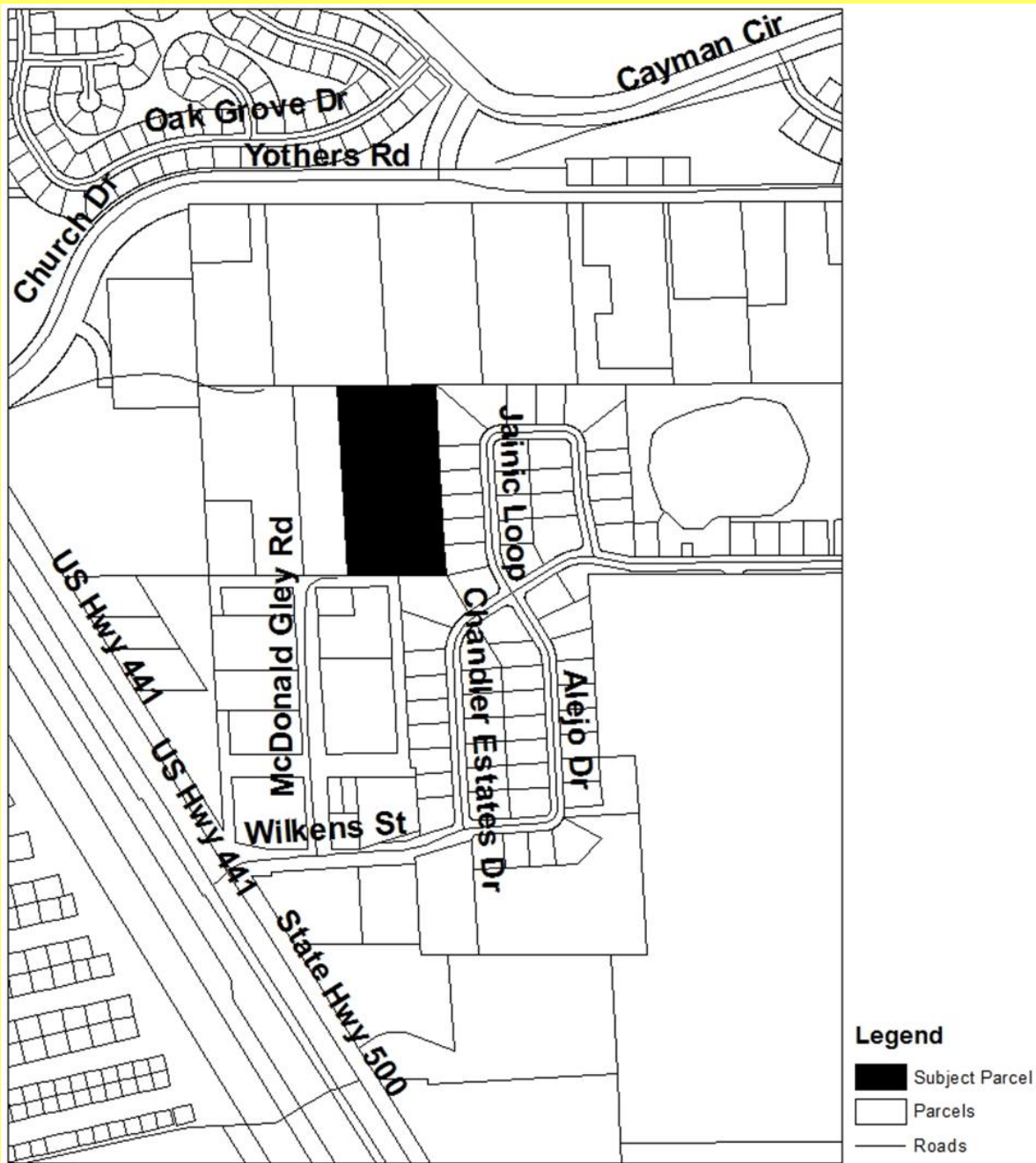
Standards set forth in the City's Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



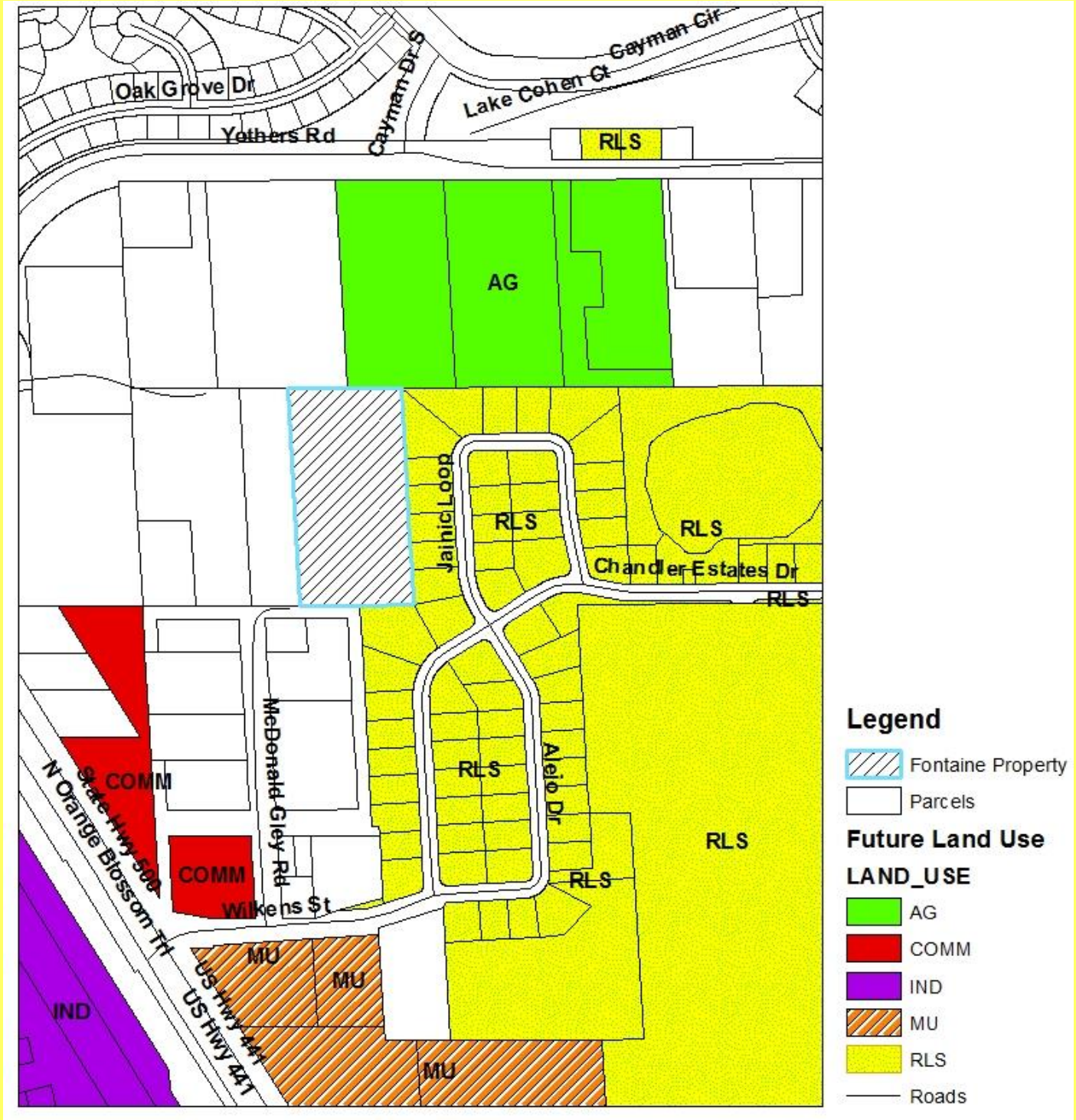
Lynn R. Fontaine
5.2 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Rural
To: "City" Residential Very Low Suburban
Proposed Change of Zoning:
From: "County" A-1
To: RCE-2
Parcel ID #: 35-20-27-0000-00-037

VICINITY MAP



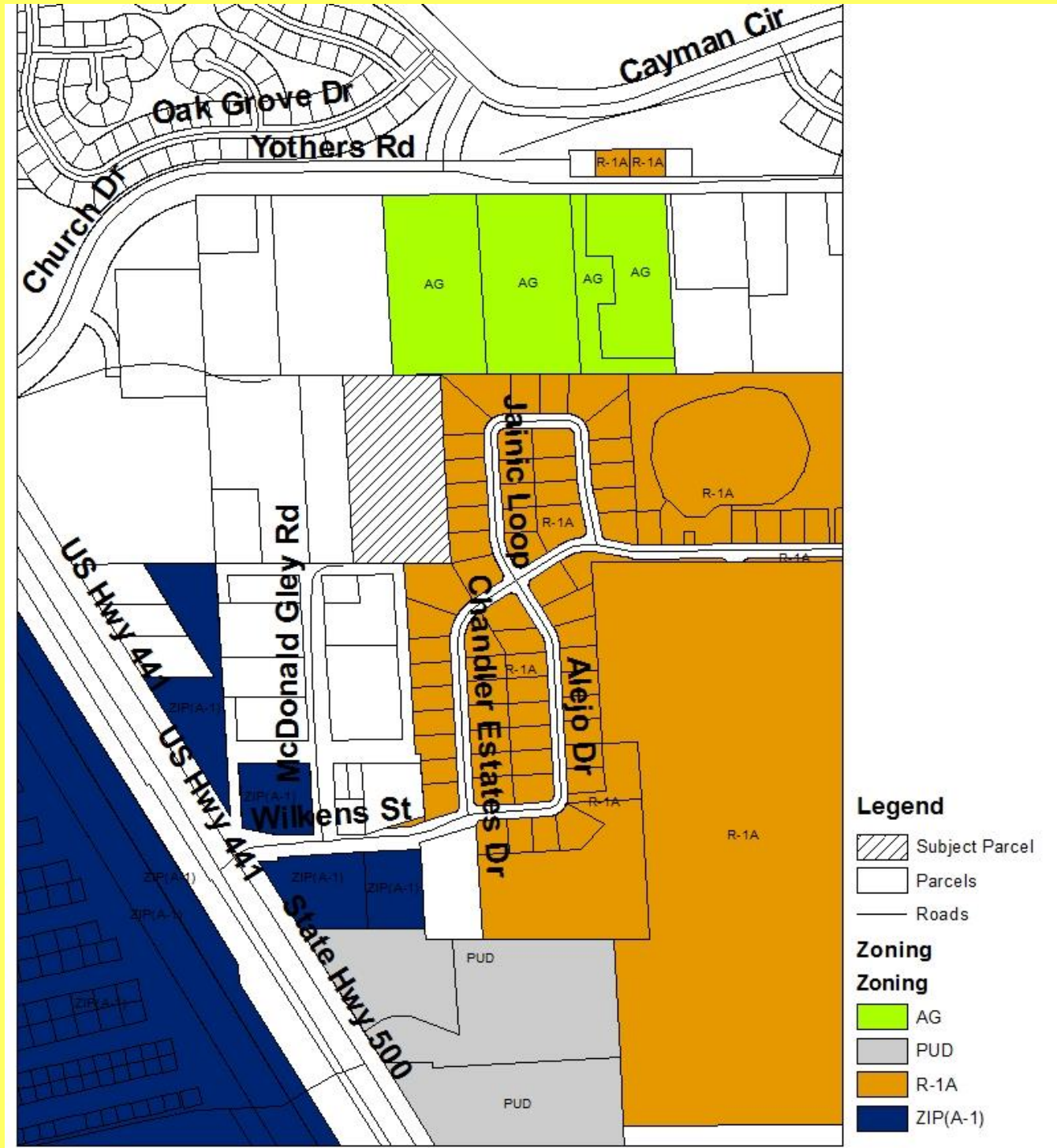


FUTURE LAND USE MAP



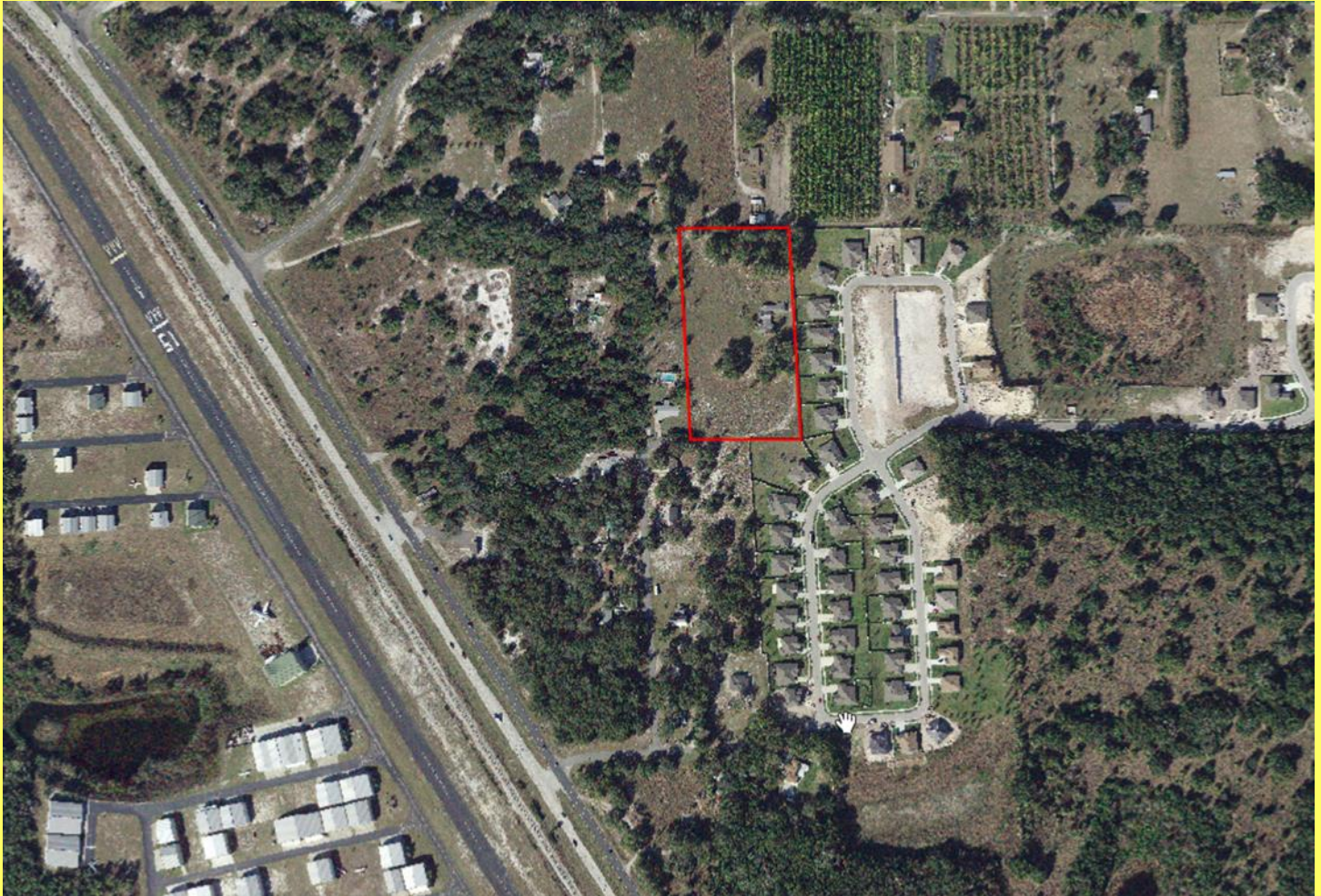


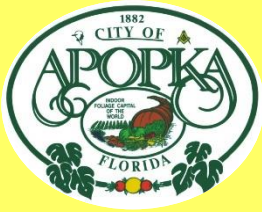
ADJACENT ZONING





ADJACENT USES





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map

SUBJECT: CHANGE OF ZONING – LYNN R. FONTAINE

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING FOR LYNN R. FONTAINE
FROM: “COUNTY” A-1 (AGRICULTURE)
TO: “CITY” RCE-2 (RESIDENTIAL COUNTRY ESTATE)

SUMMARY:

OWNER/APPLICANT: Lynn R. Fontaine
LOCATION: 4353 McDonald Gley Rd.
PARCEL ID NUMBER: 35-20-27-0000-00-037
EXISTING USE: Single Family Home
CURRENT ZONING: “County” A-1
DEVELOPMENT POTENTIAL: 2 Single Family Homes
PROPOSED ZONING: “City” RCE-2 (Residential Country Estate) (Note: this Change of Zoning request is being processed along with a request to amend the Future Land Use from “County” Rural (1 du / 10 ac) to Residential Low Suburban (0-3.5 du / ac) and an application for annexation.
TRACT SIZE: 5.2 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: 1 single family home
PROPOSED: 1 single family home

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. The applicant is requesting the City to assign a zoning classification of RCE-2 (Residential Country Estates) to the property.

The subject parcel was annexed into the city on April 18, 2018 by Ordinance Number 2641.

A request to assign a change of zoning to RCE-2 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from “County” Rural to “City” Residential Low Suburban.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Residential Low Suburban (0-3.5 du / ac) Future Land Use designation.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)
May 16, 2018 - City Council (7:00 pm) - 1st Reading
June 6, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification- April 24, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-1 to “City” RCE-2 for the property owned by Lynn R. Fontaine, and located at 4353 McDonald Gley Rd.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-1 to “City” RCE-2 for the property owned by Lynn R. Fontaine, and located at 4353 McDonald Gley Rd.

Note: This item is considered **Quasi-Judicial**. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City and County)	“City” Agriculture and “County” Rural	“City” Agriculture and “County” A-1	Agriculture and Single Family Homes
East (City)	Residential Low Suburban	R-1A	Subdivision (Chandler Estates)
South (City and County)	“City” Residential Low Suburban and “County” Rural	“City” R-1A and “County” A-1	Single Family Homes
West (County)	Rural	A-1	Single Family Home

LAND USE & TRAFFIC COMPATIBILITY:

The property is currently accessed by McDonald Gley Rd.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed RCE-2 zoning is consistent with the proposed Future Land Use designation, “Residential Low Suburban” (0-3.5 du / ac) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

1. Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code.
2. Guest/granny quarters in accordance with article VII of this code.

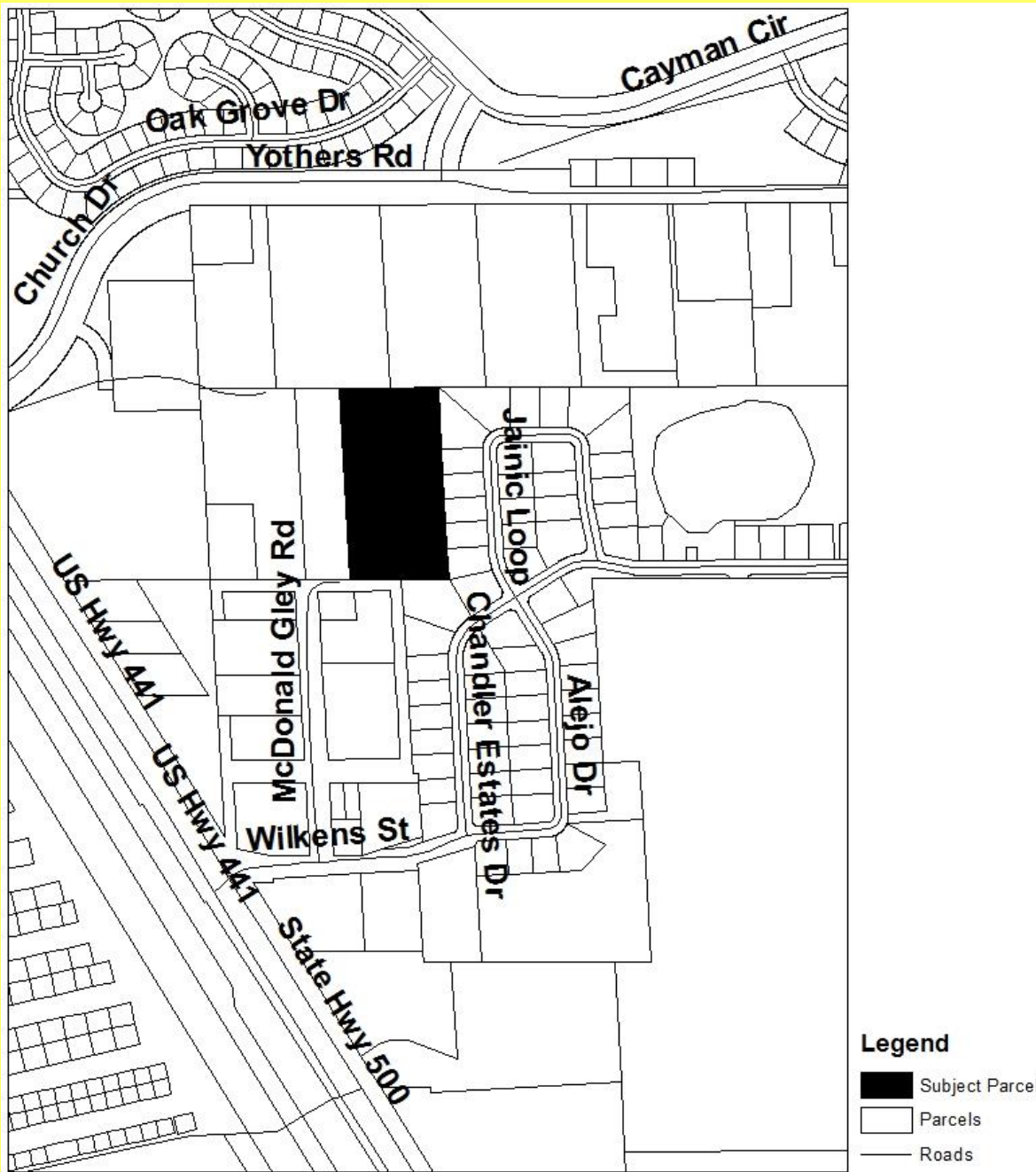
ZONING REGULATIONS:

Minimum Site Area: 2 Acres
 Minimum Lot Width: 150 ft.
 Front Setback: 35 ft.
 Side Setback: 15 ft.
 Rear Setback: 30 ft.
 Corner Setback: 35 ft.
 Minimum Living Area: 2,200 sq. ft.



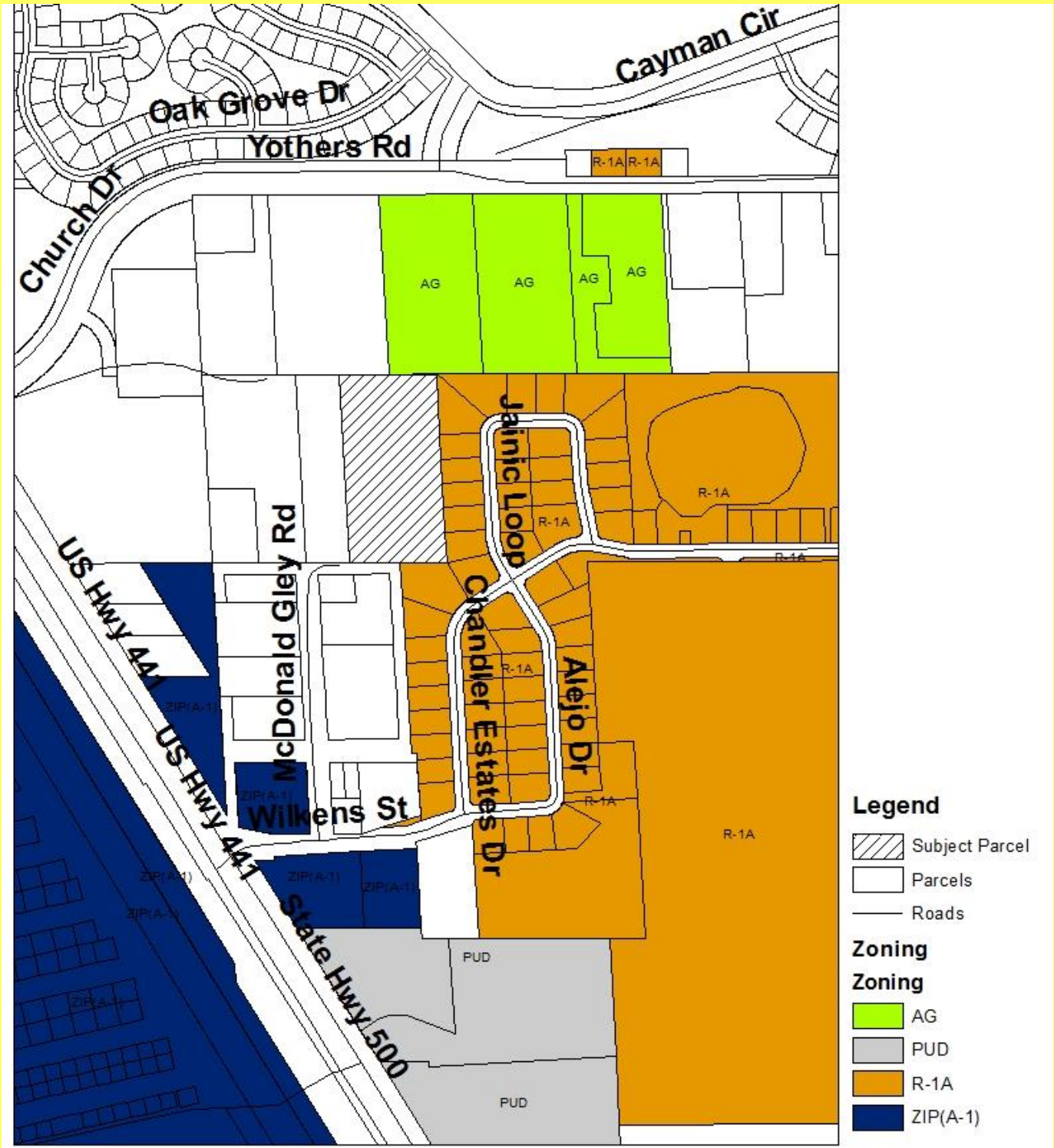
Lynn R. Fontaine
5.20 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Rural
To: "City" Residential Low Suburban
Proposed Change of Zoning:
From: "County" A-1
To: "City" RCE-2
Parcel ID #: 35-20-27-0000-00-037

VICINITY MAP



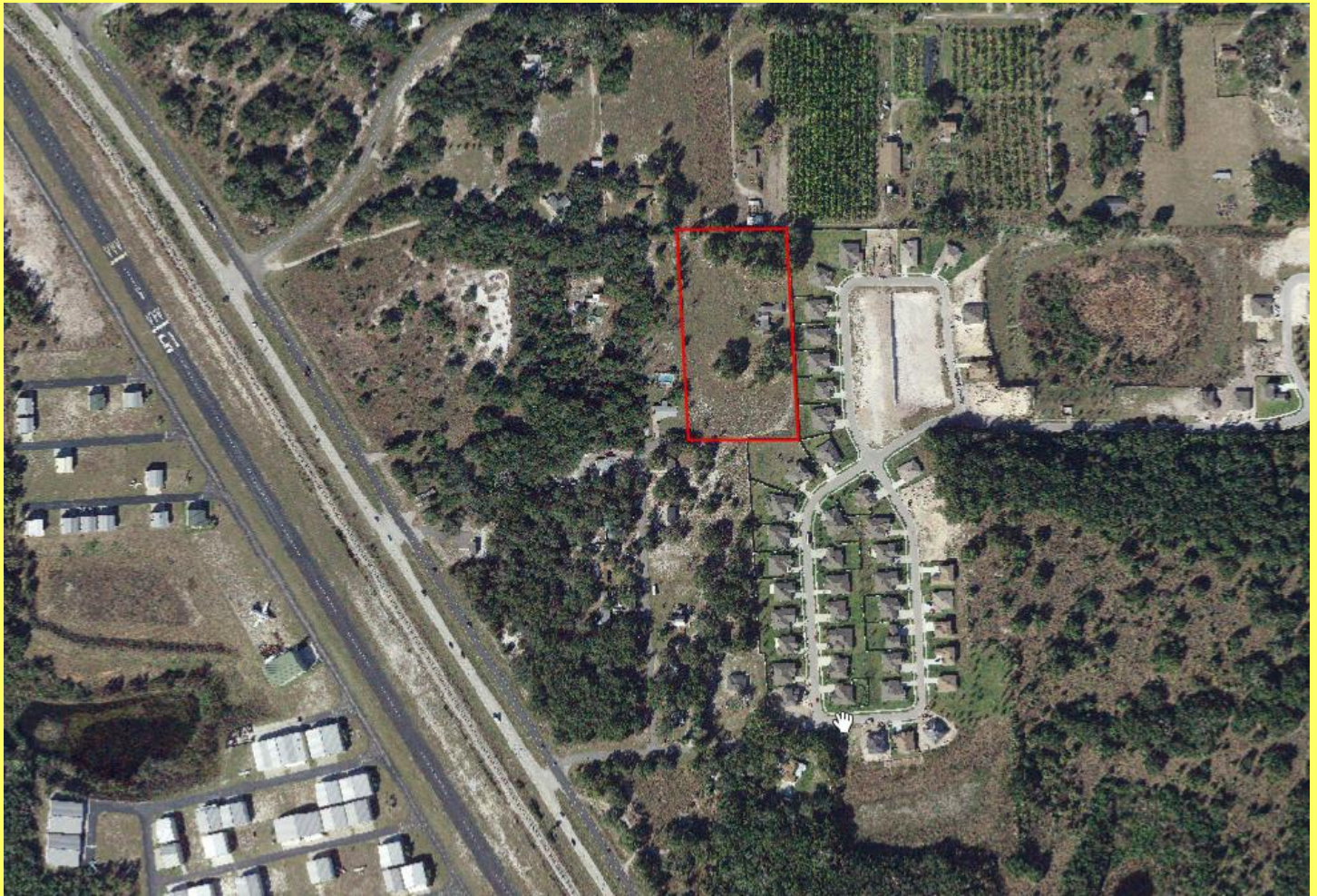


ADJACENT ZONING MAP





ADJACENT USES MAP





**CITY OF APOPKA
PLANNING COMMISSION**

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 8, 2018
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 WPIVP¹ Map
 WPIVP Character Districts
 Comp Plan Objectives
 JPA Amendment No. 2

SUBJECT: COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – KENT GREER

PARCEL ID NOS.: 14-20-27-0000-00-021; 14-20-27-0000-00-084; 14-20-27-0000-00-005

REQUEST: RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT FOR KENT GREER
FROM: RURAL SETTLEMENT (1 DU/AC)
TO: MIXED USE INTERCHANGE (0 – 5 DU/AC)

SUMMARY:

OWNER: Kent Greer
 APPLICANT: Hanover Land Company
 LOCATION: South of West Kelly Park Road, East of Round Lake Road
 EXISTING USE: Single Family House and Agriculture – grazing
 CURRENT ZONING: Agriculture
 PROPOSED DEVELOPMENT: 139 Single Family Lot Subdivision
 PROPOSED ZONING: Mixed Use Interchange Zoning District with Neighborhood Overlay Zone
 TRACT SIZES: 39.15 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: Max. 7 residential units
 PROPOSED: Max. 195 residential units

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

¹ WPIVP – Wekiva Parkway Interchange Vision Plan

ADDITIONAL COMMENTS: The applicant requests a future land use designation of “City” Mixed Use Interchange. Presently, the applicant proposes a residential subdivision consisting of 139 single family lots.

Policy 20.9, Future Land Use Element of the Comprehensive Plan, requires that a Mixed Use Interchange future a land use designation must be assigned to the property.

The subject parcels are located within the one-mile radius from the Wekiva Parkway interchange at Kelly Park Road; and therefore is required to adhere to the Kelly Park Crossing Form Based Code. The properties are located within the Wekiva Parkway Interchange Vision Plan Area. Therefore, the property must comply with Objectives 18 – 20 and related policies within the Future Land Use Element of the Comprehensive Plan and the recently adopted Kelly Park Crossing Form-Based Code. The applicant’s request is consistent with the Mixed Use Interchange future land use designation and the Overlay District covering the property within the Vision Plan.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is compatible with the character of the surrounding area, is within one mile of the SR 429/Kelly Park Road interchange, and is consistent with the Mixed Use Interchange Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Wekiva Parkway Interchange Vision Plan a (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

1. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional and public facilities uses to serve the residential and non-residential needs of special areas of the City. The mix of land uses may occur on a single parcel or multiple parcels ...

The designation of a mixed use category may occur only in certain areas of the city, including “land anticipated for inclusion within the Wekiva Parkway Interchange Land Use Plan...” These properties are within the 1-mile radius of the Wekiva Parkway Interchange depicted on the Wekiva Parkway Interchange Vision Plan Map located within the Future Land Use Element of the Apopka Comprehensive Plan.

2. **Policy 18.1** The City shall implement the Wekiva Parkway Interchange Vision Plan, which guides the location of a range of uses, such as residential, office, commercial, industrial, recreation, public and institutional, at various densities and intensities around the proposed interchange.

The proposed Mixed Use Future Land Use Designation allows for residential densities and non-residential uses and intensities to implement the Wekiva Parkway Interchange Vision Plan, consistent with Objective 18 and related policies.

3. **Policy 18.2** Prior to rezoning any property within a one-mile radius of the interchange Study Area, the City shall amend its LDC to incorporate development standards that will implement the Vision Plan.

This future land use amendment does not include a corresponding proposed zoning category because the City has yet to adopt development standards or form-based code consistent with this policy. Future densities/intensities and design character for the subject properties will be regulated at the time of rezoning once Wekiva Parkway Interchange Vision Plan design standards and form-based code are adopted.

4. **Policy 20.4** Prior to approving the first development plan with the Wekiva Parkway Interchange vision Plan Area, the City shall adopt the Wekiva Parkway Interchange Form-Based Cod establishing the design and development standards for the Wekiva Parkway Interchange Vision Plan Area.

The subject properties will be required to comply with the above policy should the development submit a development plan to ensure consistency with the Comprehensive Plan and Wekiva Parkway Interchange Vision Plan.

5. **Policy 20.9** Development within the Wekiva Parkway Interchange Plan Area shall be assigned a Mixed-Use Interchange future land use designation and shall accomplish an overall mix of residential and non-residential uses as outline in Policy 3.1.r. Assignment of the Mixed-Use Interchange Land Use future land use designation shall require an amendment to the Comprehensive Plan.

The applicant's request for a Mixed Use future land use designation is consistent with this policy, as well as the intent of the Wekiva Parkway Interchange Vision Plan area, which intends to concentrate a mixture of land uses with varying densities and intensities within one mile of the Wekiva Parkway Interchange.

6. **Policy 20.3.** The annexation, land use change, and subsequent development of lands located within the Wekiva Parkway Interchange Plan Area for Apopka and the Wekiva Interchange Land Use Plan Overlay for the County shall be consistent with the adopted Interlocal Agreement between Orange County and the City of Apopka regarding Wekiva Interchange Land Use Plan Overlay.
7. **Objective 19 and 20, and their associated policies.** See objectives and policies within the supporting information.

Transportation Element

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, short trip lengths and balanced trip demand.

The Mixed Use future land use designation allows for a mixture of land use types such as residential and non-residential, which promotes shorter trip lengths, concentrated development to reduce travel demand.

2. **Policy 3.1.r** The primary intent of the Mixed Use land use category is to allow a mixture of residential, office, commercial, industrial, recreation, institutional uses and public facilities uses...This mix of land uses may occur on a single parcel or multiple parcels in the form of: a permitted single use; a vertical combination of different permitted uses; or a horizontal mix of different permitted uses.
3. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.
4. **Objective 20 and associated Policies, Future Land Use Element.** Provided with the Supporting Information.

PLANNING COMMISSION – MAY 8, 2018
KENT GREER – LARGE SCALE – FUTURE LAND USE AMENDMENT
PAGE 4

VISIONING AND SPECIAL STUDIES: The properties are located within the boundaries of the Wekiva Parkway Interchange Vision Plan Area, making it subject to the Kelly Park Crossing Form-Based Code, Mixed- Use Interchange Zoning District and Neighborhood Overlay District. A copy of the Wekiva Parkway Interchange Vision Plan is provided with the support material.

SCHOOL CAPACITY REPORT: An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on March 9th, 2018. Notification has already occurred through the Second Amendment to the Joint Planning Agreement with Orange County government. The second amendment acknowledges that the City will assign a land use designation similar to the overlay district illustrated in the Wekiva Parkway Interchange Vision Plan.

PUBLIC HEARING SCHEDULE:

May 8, 2018– Planning Commission (5:30 pm)

May 16, 2018 – City Council (7:00 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

April 24, 2018– Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval to transmit a change in Future Land Use to Mixed Use Interchange for the property owned by Kent Greer subject to the information and findings in the staff report.

Recommended Motion: Find the Future Land Use Designation consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation to Mixed Use Interchange for the properties owned by Kent Greer subject to the information and findings in the staff report.

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City and County)	“City” Agriculture and “County” Rural	“City” Agriculture and “County” Rural	Nurseries and Single Family Homes
East (County)	“County” Rural	“County” A-1	Nursery
South (County)	“County” Rural	“County” A-1	Nurseries and Single Family Homes
West (County)	“County” Rural	“County” A-1	Single Family Homes

II. LAND USE ANALYSIS

Analysis for the Future Land Use Designation was performed as part of the adopted Wekiva Parkway Interchange Vision Plan. This Vision Plan has been incorporated into the Comprehensive Plan. The subject property straddles the one-mile radius from the interchange, and the property owner has selected to pull the entire property into the Kelly Park Crossing Form-Based Code Area (aka Wekiva Parkway Interchange Vision Plan Area).

Therefore, the proposed Mixed Use Interchange future land use designation is consistent with the general future land use character and long-range planning goals of the surrounding area.

- Wekiva Parkway Interchange Vision Plan Area: Yes
- Wekiva River Protection Area: No
- Area of Critical State Concern: No
- DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004 and amended the JPA in October 19, 2010 to address the Wekiva Parkway Interchange Vision Plan. The subject property is consistent with the Vision Plan incorporated into Amendment 2 of the Wekiva Parkway Interchange Vision Plan.

Transportation: Road access to the site is from West Kelly Park Road.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2; Objective 19, 20.
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that the parcels appear to occur within an area having a potential for karst features.

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Analysis of the character of the Property: The current use of the property is for agriculture. Analysis of the FLUM designation occurred as part of the Wekiva Parkway Interchange Vision Plan.

Analysis of the relationship of the amendment to the population projections: Based on the adoption of the JPA, the size of the property, and the proposed land use change, the amendment will increase the population by as many as 518 residents. The applicant proposes to develop the property as single family residential subdivision. Land use analysis was conducted as part of the Wekiva Parkway Interchange Vision Plan.

CALCULATIONS:

ADOPTED: 7 Unit(s) x 2.659 p/h = 18 persons
PROPOSED: 195 Unit(s) x 2.659 p/h = 518 persons

Housing Needs: The housing need is demonstrated through the Wekiva Parkway Interchange Vision Plan area Study.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. . The road system shall be consistent with the intent of the Kelly Park Crossing Form-Based Code.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1,372 GPD

3. Projected total demand under proposed designation: 38,220 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita

7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

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If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1,470 GPD
3. Projected total demand under proposed designation: 40,950 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 28 lbs/ day
4. Projected LOS under proposed designation: 2,072 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None

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2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

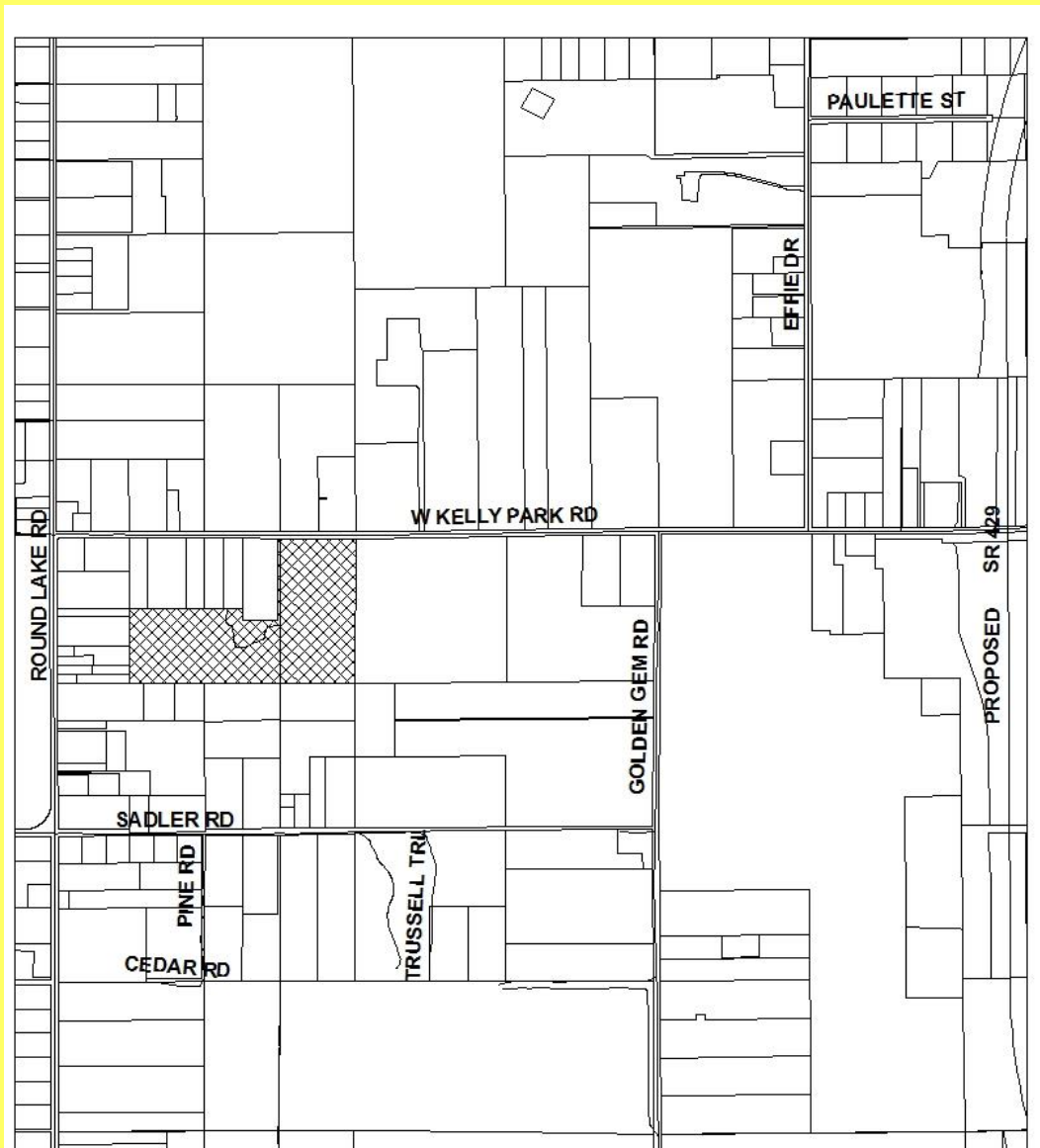
1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.054 acres
3. Projected facility under proposed designation: 1.554 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Kent Greer
Property Owners
39.15 +/- Acres
Proposed Large Scale Future Land Use Amendment:
From: Rural Settlement
To: Mixed Use Interchange
Parcel ID #: 14-20-27-0000-00-021, 084, 005



VICINITY MAP

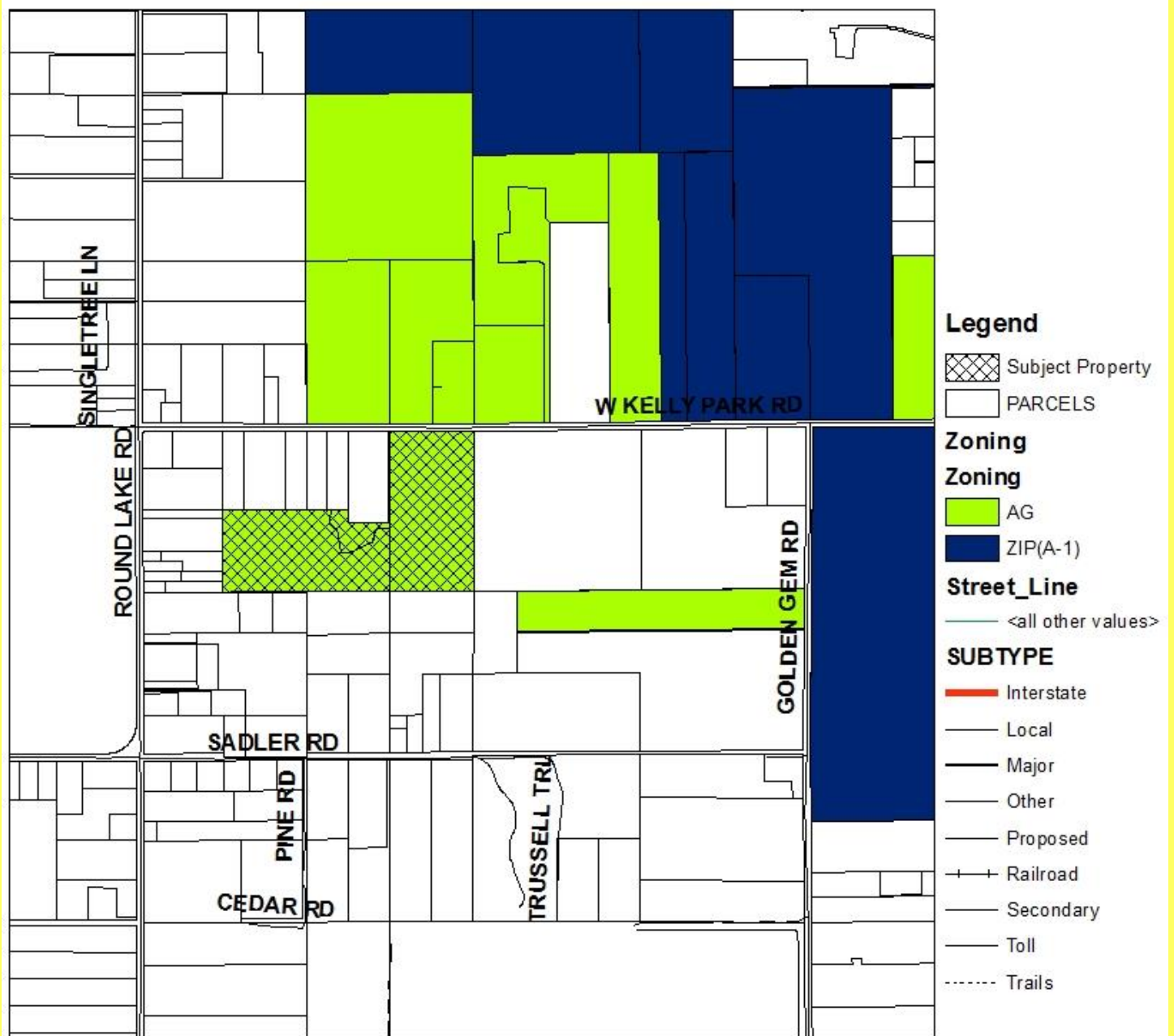


Legend

-  Subject Property
-  PARCELS

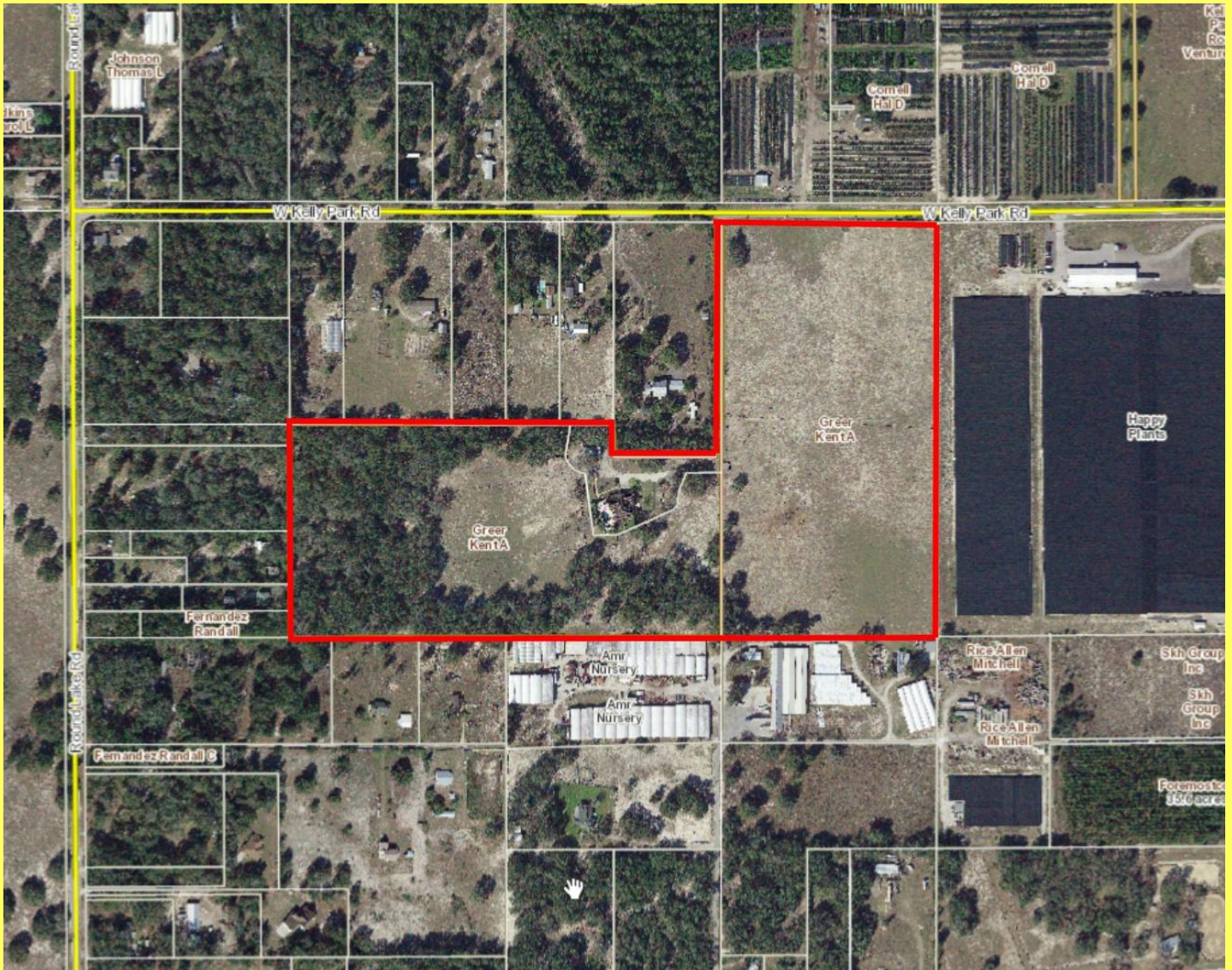


ADJACENT ZONING





AERIAL MAP





Kelly Park Crossing Form-Based Code Area

Subject Property



Note: City boundaries not depicted in this graphics as they change overtime.

Legend:

- Design Districts
- Village Center
 - Employment
 - Interchange
 - Transition
 - Neighborhood
 - Recreation

- Existing Roads
- 1 Mile Radius
- * Interchange
- * Activity Nodes

Rainbow Ridge Rural Settlement

Revised 9-7-10

**SECOND AMENDMENT TO
JOINT PLANNING AREA AGREEMENT
BETWEEN ORANGE COUNTY AND
THE CITY OF APOPKA**

THIS SECOND AMENDMENT TO JOINT PLANNING AREA AGREEMENT (Amendment) is made and entered into as of the ____ day of OCT 19 2010, 2010, by and between **ORANGE COUNTY, FLORIDA**, a political subdivision of the State of Florida (the County), and the **CITY OF APOPKA**, a Florida municipal corporation (the City).

RECITALS

WHEREAS, the Wekiva Parkway and Protection Act was enacted by the Florida Legislature in 2004, was amended in 2005, and is currently found at Part III, Chapter 369, Florida Statutes (specifically sections 369.314 – 369.324, Florida Statutes); and

WHEREAS, the Act requires those local governments hosting an interchange on the Wekiva Parkway to adopt amendments to their comprehensive plans within one year after the establishment of an interchange location to address issues relating to appropriate land uses, compatible development, secondary road access, access management, right of way protection, vegetation protection, water conserving landscape, and height and appearance of structures and signage; and

WHEREAS, the County and the City entered into a certain Settlement Interlocal Agreement between the City of Apopka and Orange County Florida, approved October 26, 2004, amended August 2, 2005 and on (insert this date) (hereafter "JPA"); and

WHEREAS, in the JPA the parties agreed, among other things, on a joint planning area boundary, a joint land use map, and the framework for establishing standards and requirements for the Wekiva Parkway interchange area; and

WHEREAS, the County and the City will share jurisdictional authority over the area within the Wekiva Parkway interchange and wish to commit to certain goals and objectives for that area in a separate Interlocal Agreement; and

WHEREAS, lands depicted within a one mile radius from the approved Wekiva Parkway interchange are included in this area and constitute the Study Area Boundary; and

WHEREAS, in order to accomplish the objectives of the Act and the Interlocal Agreement for the Study Area Boundary, the County and the City have determined that certain provisions of

the JPA, including Exhibit F as it pertains to the Study Area Boundary, are outdated or will become outdated by the adoption the Interlocal Agreement; and

WHEREAS, both the County and the City desire to amend the existing JPA to ensure consistency between the JPA and the Interlocal Agreement for the area described as the Study Area Boundary; and

WHEREAS, pursuant to Section 163.3171(3), Florida Statutes, this Amendment has been approved by the Orange County Board of County Commissioners and the Apopka City Council at advertised public hearings.

NOW THEREFORE, in consideration of the covenants made by each party to the other and of the mutual advantages to be realized by the parties hereto, the receipt and sufficiency of which is hereby acknowledged, the County and the City hereby agree as follows:

Section 1. Recitals. The above Recitals are true and correct and are incorporated herein by reference.

Section 2. Authority. This Amendment is entered into pursuant to (1) Chapters 125, 163 and 166, Florida Statutes, (2) the general authority of Section 163.01, Florida Statutes, relating to interlocal agreements, (3) the Charters of the County and City, and (4) the Joint Planning Area Agreement.

Section 3. Map Amendment.

“Exhibit F” to the JPA is hereby deleted and replaced with a new “Exhibit F”, which is attached hereto and incorporated herein by reference. For purposes of interpreting the JPA, the parties agree that the area described in “Exhibit F” is unaffected by this amendment except as to the Study Area Boundary, which is described in “Exhibit F1” hereto and the Interlocal Agreement.

“Exhibit F1”, is attached hereto and incorporated herein by reference, and describes the future land uses of those parcels located within the Study Area Boundary and agreed upon by the City and the County and is typified in Exhibit B to the Interlocal Agreement. The parties agree that, as to the parcels located in the Study Area Boundary, to the extent of any conflict between the JPA and the Interlocal Agreement, the Interlocal Agreement will control and shall supersede the JPA unless otherwise indicated in the Interlocal Agreement. (Exhibit “F1” hereto and Exhibit “B” to the Interlocal Agreement are identical exhibits.)

Revised 9-7-10

Section 4. Text Amendment. A new paragraph (4) is added to Subsection (c), "Small Area Study Areas" of Section 3, Joint Land Use Plan, to read as follows:

(4) Pursuant to the Interlocal Agreement approved by the parties the parties agree that, as to the parcels located in the Study Area Boundary and as described in "Exhibit F1" to the JPA, the terms of the Interlocal Agreement will control and that the Interlocal Agreement supersedes the JPA to the extent of any conflict between the Interlocal Agreement and the JPA, unless otherwise indicated in the Interlocal Agreement.

Section 5. Except as expressly set forth herein, all other provisions of the JPA, as amended, remain unchanged and in full force and effect.

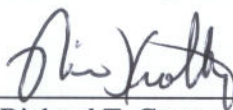
Section 6. Severability. Should any section, subsection, sentence, clause, phrase or provision of this Amendment is held invalid or unconstitutional by a court of competent jurisdiction such invalidity or unconstitutionality shall not be construed to render the remaining portions of this Amendment invalid or unconstitutional.

Section 7. Effective Date. This Second Amendment to the JPA shall become effective upon the date of approval by the Board of County Commissioners or the date of approval by the City Council, whichever date is later.

IN WITNESS WHEREOF, the County and City have executed this Second Amendment to the JPA on the dates inscribed below.

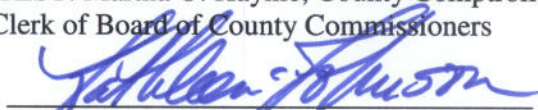


ORANGE COUNTY, FLORIDA
By: Board of County Commissioners

By: 
Richard T. Crotty
Orange County Mayor

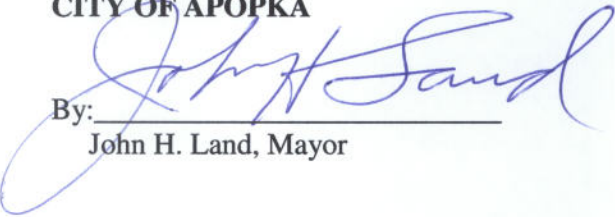
DATE: OCT 19 2010

ATTEST: Martha O. Haynie, County Comptroller
as Clerk of Board of County Commissioners


By: 
Deputy Clerk

Revised 9-7-10

CITY OF APOPKA

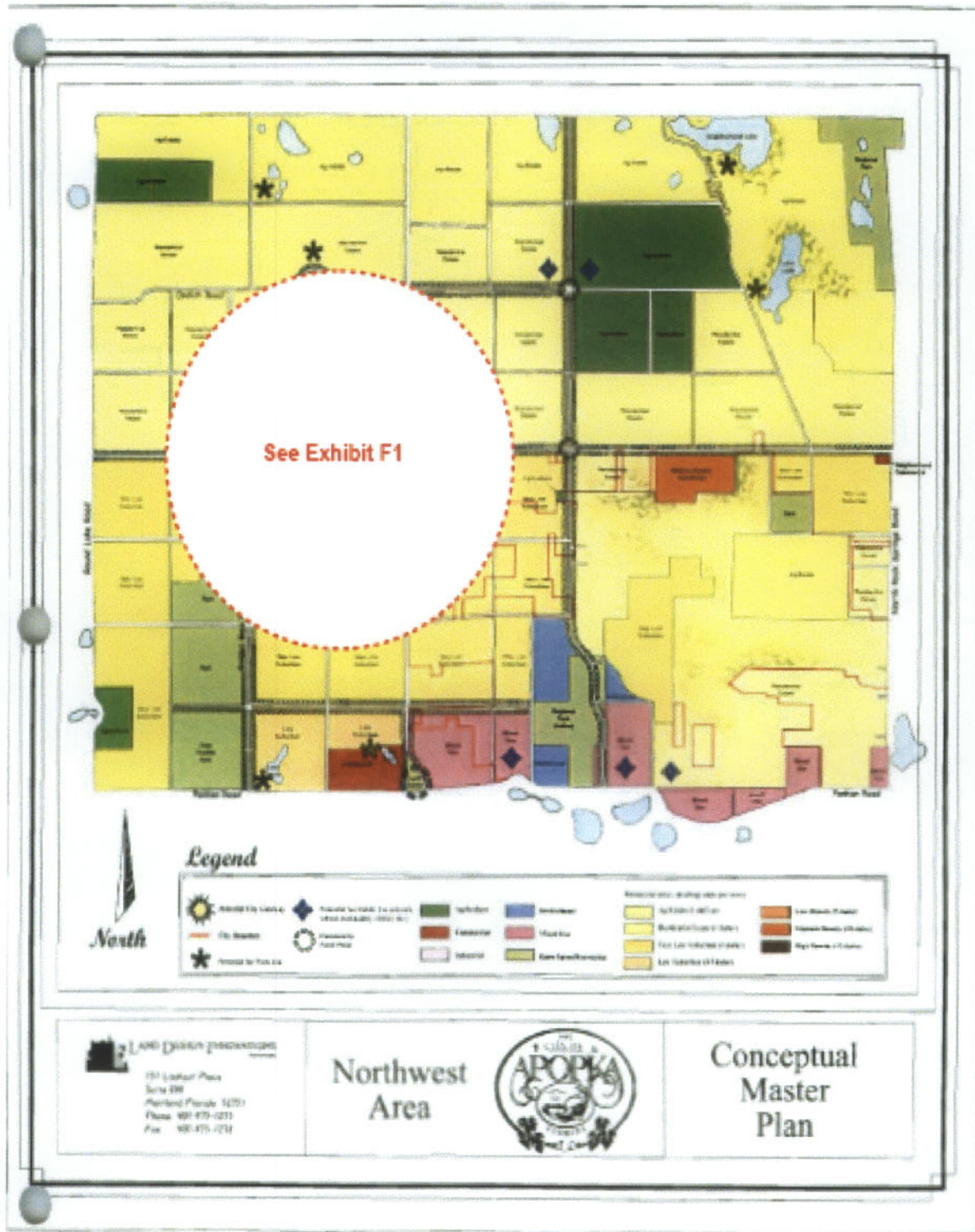

By: _____
John H. Land, Mayor

ATTEST: Janice G. Goebel
City Clerk

By: 
Date: 9-17-10

S:\Dcrosby\AGRMNT\Apopka\2d amend Apopka JPA D4

Exhibit 'F'



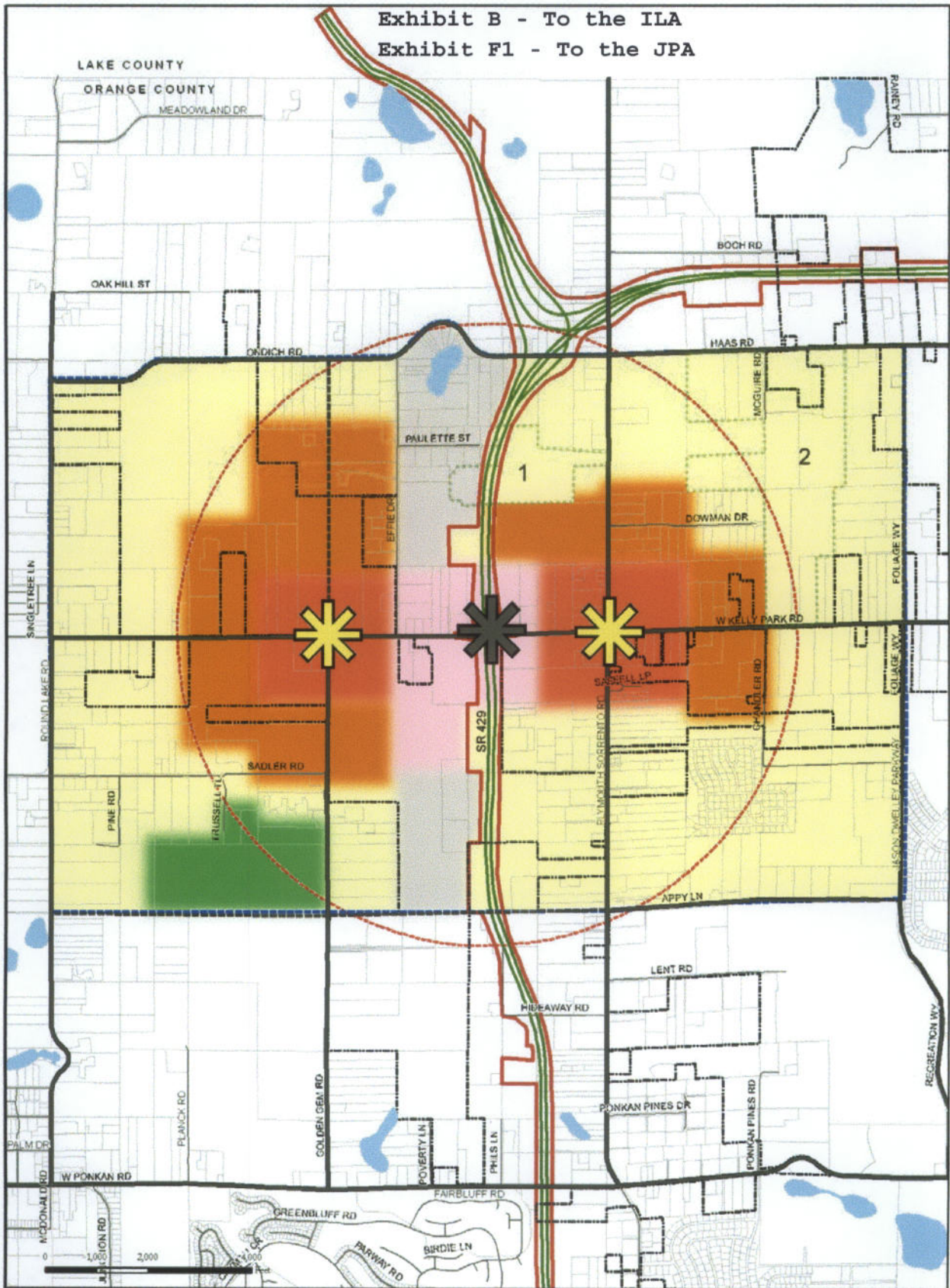
Land Design Professionals
 151 Lakewood Place
 Suite 100
 Apopka, Florida 32711
 Phone: 407-475-1211
 Fax: 407-475-1211

Northwest
 Area



Conceptual
 Master
 Plan

Exhibit B - To the ILA
 Exhibit F1 - To the JPA



<p>Proposed Districts</p> <ul style="list-style-type: none"> Village Center Employment Interchange Transition Neighborhood Recreation 	<p>Interchange Study Area Boundary</p> <ul style="list-style-type: none"> City of Apopka Boundary Existing Roads 1 Mile Radius 	<p>Settlements</p> <ul style="list-style-type: none"> 1 Bridle Path Rural Settlement 2 Rainbow Ridge Rural Settlement
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LAND DESIGN INNOVATIONS

1718 Fernald Street, Suite 100
 Apopka, Florida 32711
 Phone 407-923-1213
 Fax 407-923-1218
 www.landi.com

Note: Map is for graphical representation only
 Actual data must be verified by City staff
 September 2010

factors are taken into account, that there is no increase in nitrate/nitrogen loading to groundwater and surface water.

Objective 18

The City shall implement the Wekiva Parkway Interchange Land Use Plan adopted on September 15, 2010, which addresses the requirements of Section 369.321(1) F.S. as it relates to coordinated planning within the Wekiva area.

Policy 18.1

The City shall implement the Wekiva Parkway Interchange Vision Plan, which guides the location of a range of uses, such as residential, office, commercial, industrial, recreation, public and institutional, at various densities and intensities around the proposed interchange.

Policy 18.2

Prior to rezoning any property within a one-mile radius of the interchange Study Area, the City shall amend its LDC to incorporate development standards that will implement the Vision Plan. These standards shall address creative planning solutions to protect environmentally sensitive lands, such as:

Open Space

Standards will be developed for appropriate percentages of open space for single parcels and/or for the entire Interchange Study Area.

Clustering:

Standards will be developed to allow multiple land owners to aggregate parcels for the purpose of calculating density/intensity and developing cohesive clusters of higher density/intensity in the area closest to the interchange and major intersections in the study area.

Transfer of Development Rights (TDR):

A TDR system shall be developed to allow land owners that have sensitive lands or lands farthest from the interchange, to sell density/intensity rights to owners of lands closest to the interchange. The vision plan will analyze the potential sending and receiving areas.

Form-Based Regulations:

Develop form-based regulations for the study area to ensure the Vision Plan is implemented.

Policy 18.3

The development standards within the Interchange Study Area shall be applied through a zoning overlay, or similar method, that encompasses the study area. Developer agreements may be required.

Policy 18.4

If a parcel is severed by the one-mile radius or is under common ownership, either the entire parcel will be included or excluded from the study area based upon the Vision Plan.

Policy 18.5

In the event that the Wekiva Parkway is not constructed, it is anticipated that the Wekiva Parkway Interchange Plan will be reevaluated and appropriate comprehensive plan amendments adopted to address then-existing development and future land use designations within the Wekiva Parkway Interchange Plan Area.

Policy 18.6

Before any development can occur within the Project Orlando LLC site (further identified as parcels 11-20-27-0000-00-003, 11-20-27-0000-00-013, 11-20-27-0000-00-036, 11-20-27-0000-00-042, 11-20-27-0000-00-057, 12-20-27-0000-00-060, 11-20-27-0000-00-030, 13-20-27-0000-00-023, 13-20-27-0000-00-005, 13-20-27-0000-00-061, 13-20-27-0000-00-026, 13-20-27-0000-00-032), the proposed development must be processed and approved as a Development of Regional Impact (DRI) as defined in Chapter 380.06, Florida Statutes and Chapter 28-24, Florida Administrative Code.

Policy 18.7

Public school capacities and facilities serving the Project Orlando site shall be addressed with the rezoning and DRI processes. No increase in density above the vested 67 dwelling units shall be permitted by the City until it is demonstrated that adequate public school facilities are available to meet the increased demand.

Policy 18.8

Prior to the completion of the interchange, but following the official designation of the interchange location by the Expressway Authority, a development program may be permitted by the City which shall not exceed 17,907 average daily vehicle trips external to the Project Orlando project, subject to rezoning and a traffic study.

(Revised - Ord. No. 2317, 10-02-2013)

Policy 18.9

A parcel assigned a land use designation during the 2010-1 or 2010-2 large-scale comprehensive plan amendment cycles, shall not be assigned a city residential zoning category or obtain a rezoning for residential uses until Orange County Public Schools has either issued a finding of school capacity or a school capacity enhancement agreement to the applicable property owner, excepting those parcels having a diminimus impact on public schools as defined in the Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency.

Objective 19

New development in the City shall comply with "Smart Growth" principles that minimize the emission of greenhouse gases and reduce vehicle miles of travel as opposed to conventional development standards that encourage urban sprawl. The following policies shall be incorporated into the City's LDC prior to the next required Evaluation and Appraisal Report.

Policy 19.1

Development in the mixed-use categories, and where appropriate in other land use categories, shall provide pedestrian-friendly street design.

Policy 19.2

New development, as well as infill development where feasible, shall provide interconnected street grid networks to disperse traffic and encourage walkability. Developments may include a hierarchy of narrow streets, boulevards and alleys; high-quality pedestrian networks; designs that encourage a greater use of bicycles, rollerblades, scooters and walking as daily transportation; connectivity to public transit; and a land use mix that demonstrates reduced external trips by encouraging internal trips.

Policy 19.3

New infill development in the mixed-use categories shall provide shops, offices and homes within neighborhoods, including mixed uses in one structure, to offer opportunities to encourage walking and/or live and work environments.

Objective 20

Ensure development within the City of Apopka surrounding the Wekiva Parkway interchange will occur in a predictable, yet flexible manner consistent with the intent of the Wekiva Parkway and Protection Act, the community vision, and the City's economic development goals, and which will provide a balanced land use scenario that can accommodate economic and residential growth in the context of the environmental concerns identified within the Wekiva Parkway and Protection Act, and that can serve as the primary targeted area for greenfield development within the Wekiva Study Area.

Policy 20.1

The Wekiva Parkway Interchange Plan is composed of three elements: the *Wekiva Parkway Interchange Vision Plan*, the *Wekiva Parkway Interchange Land Use Plan*, and the *Wekiva Parkway Interchange Goal, Objectives, and Policies*. The *Wekiva Parkway Interchange Vision Plan*, adopted as part of the Future Land Use Overlay Series found in Appendix 1-2 of the Future Land Use Element, represents a conceptual scenario that demonstrates the intent of the Wekiva Parkway Interchange Plan and will guide the development of lands located within the Wekiva Parkway Interchange Vision Plan Area. The *Wekiva Parkway Interchange Land Use Plan* and the *Wekiva Parkway Interchange Goal, Objectives, and Policies* shall represent the regulatory elements of the Wekiva Parkway Interchange Plan. The land use configuration and distribution demonstrated on the *Wekiva Parkway Interchange Vision Plan* are intended to illustrate the potential application of the adopted *Wekiva Parkway Interchange Vision Plan* policies; however, the specific details for each development phase will be established through the approval of development plans consistent with the *Wekiva Parkway Interchange Goal, Objectives & Policies*, the *Wekiva Parkway Interchange Land Use Plan*, and the regulations established in the *Wekiva Parkway Interchange Form-Based Code*.

Policy 20.2

The Wekiva Parkway Interchange Vision Plan shall be applicable within Wekiva Parkway Interchange Vision Plan Area. The Wekiva Parkway Interchange Vision Plan Area is generally comprised of a one-mile radius emanating from the anticipated Wekiva Parkway Interchange. The exact configuration is based upon a logical, parcel-specific boundary consistent with the intent of capturing a one-mile radius.

Policy 20.3

The annexation, land use change, and subsequent development of lands located within the Wekiva Parkway Interchange Plan Area for Apopka and the Wekiva Interchange Land use Plan Overlay for the County shall be consistent with the adopted Interlocal Agreement between Orange County and the City of Apopka regarding Wekiva Interchange Land Use Plan Overlay.

Policy 20.4

Prior to approving the first development plan within the Wekiva Parkway Interchange Vision Plan Area, the City shall adopt the Wekiva Parkway Interchange Form-Based Code establishing the design and development standards for the Wekiva Parkway Interchange Vision Plan Area. The Wekiva Parkway Interchange Form-Based Code shall be based on the criteria contained within the Wekiva Parkway Interchange Goal, Objectives, and Policies.

Policy 20.5

The Wekiva Parkway Interchange Vision Plan identifies the approximate location of the character districts necessary to support the anticipated development program within the Wekiva Parkway Interchange Vision Plan Area. The location and/or boundaries of the character districts shown on the Vision Plan are illustrative only, and it is the intent of the City that locations and boundaries can be refined through an administrative review, except where other review and approval procedures are specified, in either the Comprehensive Plan or the Wekiva Parkway Interchange Form-Based Code. The specific boundaries and locations of character districts will be established through the approval of development plans, as established through the Wekiva Parkway Interchange Form-Based Code procedures.

Policy 20.6

Deviations in the area-wide densities and/or intensities established in the Wekiva Parkway Interchange Land Use Plan, or proposed design elements that are not consistent with the Wekiva Parkway Interchange Goal, Objectives, and Policies shall require a comprehensive plan amendment.

Policy 20.7

The Wekiva Parkway Interchange Form-Based Code shall include regulations governing the following community design elements for the Wekiva Parkway Interchange Plan area:

- An interconnected network of streets and paths designed to encourage pedestrian and bicycle travel, with traffic calming where appropriate;
- A complementary mix of land uses, including residential, employment, recreational, and civic;
- Appropriate densities and intensities of land uses within walking distance of transit stops; and
- Daily activities within walking distance of residences, public uses, streets and open spaces that are safe, comfortable and attractive for the pedestrian, with adjoining buildings open to the street and parking designed so as not to interfere with pedestrian and bicycle travel.

Policy 20.8

The Wekiva Parkway Interchange Form-Based Code shall include provisions requiring that the land uses incorporated into the Wekiva Interchange Vision and Land Use Plans are physically and functionally integrated, including a connected and continuous system of pedestrian facilities.

Policy 20.9

Development within the Wekiva Parkway Interchange Plan Area shall be assigned a Mixed-Use Interchange future land use designation and shall accomplish an overall mix of residential and non-residential uses as outlined in Policy 3.1.r. Assignment of the Mixed-Use Interchange Land Use future land use designation shall require an amendment to the Comprehensive Plan. This policy shall not be construed to remove any existing entitlements upon property within the Wekiva Parkway Interchange Plan Area, nor shall it prevent

development consistent with the existing future land use designations. Development occurring under the existing future land use designations shall comply with the design criteria included in the Wekiva Parkway Interchange Plan to the extent that the criteria does not conflict with the existing future land use designation.

Policy 20.10

The City shall ensure that areas of greatest density and intensity within the Wekiva Parkway Interchange Plan Area are located at and between the two major intersection nodes at Kelly Park Road/Golden Gem Road and Kelly Park Road/Plymouth-Sorrento Road, but not upon areas of Karst formations. The Wekiva Interchange Form-Based Code shall require a mix of uses consistent with Wekiva Interchange Plan and shall establish a system of transfer of development rights to encourage increased density and intensity within Wekiva Parkway Interchange Plan Area. Development at the outer edges of the mixed-use area shall maintain compatibility with the lands adjacent to the Wekiva Interchange Plan Area by reducing density and intensity or by providing substantial buffers, landscaping, height, and lighting controls. The City shall also allow transfer of development rights to maintain 20% open space in the overall Study Area. Densities and intensities allowed within the Wekiva Parkway Interchange Plan Area character districts shall be as shown on **Table 20.10**:

Table 20.10: Wekiva Parkway Interchange Character District Standards

Character District/ Purpose	Uses	Minimum/ Maximum Acreage*	Density (Units per Acre)	Intensity (FAR)	Open Space (min.)
Village Center (VC) Safe, vibrant and pedestrian-oriented mixed-use area. Each Village Center may include a Core of up to 40 acres each.	Residential, retail, commercial, office and entertainment uses. Horizontal mixed-uses shall be allowed, but vertically mixed-uses are preferred.	Min: 200 Max: 380 (40 acres max. of VC Core in each village)	Min: 7.5 Max: 25 District Average: 12	VC Core: Min: 0.3 Max: 1.0 Average: 0.5 Balance of VC: Min: 0.25 Max: 0.7 Average: 0.35	10% minimum in the form of public plazas and small park spaces that are urban in character.
Interchange Accommodate highway-oriented vehicular service uses and provide a transition between the fast traffic exiting the highway and the pedestrian Village Center.	Highway-oriented uses, such as automobile service & repair, retail, office, and limited high density residential.	Min: 175 Max: 380	Min: 7.5 Max: 15	Min: 0.1 Max: 1.0	15% minimum in the form of neighborhood parks and common areas
Employment (formerly Edge District) Accommodate corporate office development and foster the development of a campus-like corporate park.	Office, hospitality, clean industry, large institutional uses (hospitals, educational facilities), and large scale residential,	Min: 190 Max: 380	Min: 4 Max: 7.5	Min: 0.1 Max: 0.5	20% minimum in the form of large parks and interconnected wildlife corridors.

Character District/ Purpose	Uses	Minimum/ Maximum Acreage*	Density (Units per Acre)	Intensity (FAR)	Open Space (min.)
Transition Provide a transition between the high-density/intensity Village Core and the low-density/ intensity areas at the edge of the study area.	Single family home and single or multi-use office/medium-density residential	Min: 380 Max: 770	Min: 5 Max: 15	Min: 0.5 Max: 1.0	15% minimum in the form of neighborhood parks and larger common areas.
Neighborhood Preserve the existing low-density single-family residential neighborhoods and transition to the less intense uses just outside the study area.	Single-family homes and small scale support uses (schools, churches, day care facilities)	Min: 2,360 Max: 3,060	Min: 1 Max: 5	Min: .05 Max: 0.5	20% minimum in the form of large parks and interconnected wildlife corridors.

* Calculated based on the entire vision plan area acreage.

Policy 20.11

Maximum allowable development within the Wekiva Parkway Interchange Plan Area shall be allocated among land uses as follows:

Single Family: 7,500 units
Multi Family: 8,500 units
Commercial/Services: 22 million square feet

Policy 20.12

The character district regulations included in the Form-Based Code will ensure densities and intensities are allocated as noted in **Table 20.10** (see **Policy 20.10**). The TDR system will allow increased densities in the Core area (noted as bonus density on the table). The average density/intensity for individual districts and the entire mixed-use area shall not exceed the average allowed. The City shall establish a tracking system to ensure the densities/intensities are kept within the established limits. The tracker will also ensure the acreages of the character districts remain within the parameters set in **Policy 20.10**.

Policy 20.13

Development within the Wekiva Parkway Interchange Vision Plan Area shall be planned in a manner that maximizes internal circulation and does not cause the Florida Strategic Intermodal System (SIS) to exceed its adopted Level of Service Standard without appropriate mitigation.

Policy 20.14

The Wekiva Parkway Interchange Vision Plan Area shall include the following performance targets for transit, bicycle and pedestrian facilities as follows:

- 80% of all the bicycle and pedestrian facilities within the Plan Area shall function at LOS C or better;
- All parcels within $\frac{1}{4}$ mile of a transit stop should be serviced by pedestrian facilities operating at LOS C or better.

LOS standards shall be measured in accordance with the methodology established in the FDOT Multimodal

Transportation Districts and Area wide Quality of Service Handbook (Nov. 2003 or as revised). The City shall coordinate with LYNX and METROPLAN ORLANDO to apply the transit quality of service framework as found in the most recent edition of the Transit Capacity and Quality of Service Manual (TCQSM) and required as part of METROPLAN ORLANDO'S long-range transportation plan where feasible.

Policy 20.15

The City and applicants for development within the Wekiva Parkway Interchange Vision Plan Area shall incorporate transportation demand management strategies into the transportation planning process to alleviate congestion. A range of techniques will be considered, such as vanpool/ridesharing programs, parking management and pricing, transit vouchers, pre-tax incentives, telecommuting, flextime, and/or other appropriate trip reduction strategies.

Policy 20.16

Proposed development within the Wekiva Parkway Interchange Vision Plan Area shall contribute to providing a safe, convenient, comfortable and aesthetically pleasing transportation environment that promotes walking, cycling, and transit use. Appropriate improvements or enhancements to the multimodal network to incorporate into the Wekiva Parkway Interchange Form-Based Code shall include, but not be limited, to the following:

- Accommodations for pedestrian access and movement, including sidewalks, benches and clearly marked crossings;
- Accommodations for bicycles, including lockers, showers, and racks;
- Shared use paths in accordance with the FDOT Bicycle Facilities Planning and Design Guidelines Handbook;
- Accommodations for transfer of passengers at designated transit facilities;
- Preferential parking for rideshare participants;
- Access for motor vehicle passenger drop-offs and pick-ups at designated transit facilities and at commercial and office development sites; and/or
- Accommodation for the mobility impaired, including parking spaces, sidewalks and ramps for handicapped access.

Policy 20.17

Street cross-sections, design standards, and operational measures to ensure streets are safe and convenient for transit, automobile, truck, bicycle and pedestrian travel shall be incorporated into the Wekiva Parkway Interchange Form-Based Code. Strategies will include, but not be limited, to marked crosswalks, wider sidewalks, on-street parking, bus turnouts, traffic calming, raised medians or other appropriate safety enhancements that reduce hazardous conflicts between modes and that are consistent with the planned functions of the roadway.

Policy 20.18

The Wekiva Parkway Interchange Form-Based Code shall include standards for street intersections to facilitate pedestrian crossings.

Policy 20.19

Developments within the Wekiva Parkway Interchange Plan Area shall provide direct bicycle and pedestrian connections within and between residential areas and supporting community facilities and services, such as shopping areas, employment centers, transit stops, neighborhood parks, and schools. Standards and design criteria shall be established within the Wekiva Parkway Interchange Form-Based Code.

Policy 20.20

The City will include in the Wekiva Parkway Interchange Form-Based Code standards for roadways to be built/improved within the Wekiva Parkway Interchange Overlay District. The regulations will create a hierarchy of streets that equitably serve the needs of the pedestrian, the bicycle, public transit, and the automobile based on a grid network system of roadways. The City will support a multi-modal transportation environment that allows for various transit options.

Policy 20.21

Properties assigned the Mixed-Use Interchange future land use designation shall be rezoned to the Wekiva Parkway Interchange Mixed-Use Zoning District to be established in the Wekiva Parkway Interchange Form-Based Code.

Policy 20.22

The Wekiva Parkway Interchange Mixed-Use Zoning District shall establish a range of allowable lot types to ensure a mix of uses. The District shall also provide the form-based building requirements and range of allowable uses for each lot type. The lot type ranges will establish the development framework and pattern within which uses can locate.

Policy 20.23

Permitted land uses within the Wekiva Parkway Interchange Mixed-Use Zoning District shall be outlined in the Wekiva Parkway Interchange Form-Based Code, consistent with the Mixed-Use Interchange future land use designation and **Policy 20.10**. The Community Development Director shall have the authority to approve uses not listed there if the proposed use is compatible with the listed permitted uses and/or will generate or support the development of employment opportunities and/or an increased tax base.

Policy 20.24

Where feasible, developments within the Wekiva Parkway Interchange Plan Area shall maximize the preservation of open space and promote the clustering of uses to both preserve and enhance the natural environment and to maintain the rural character of areas outside of the Wekiva Parkway Interchange Plan Area. The amount of required open space shall vary by district, with the more intensive districts requiring less than 20% for urban plazas/ parks and the less intensive districts requiring more than 20% for passive/active parks and open space for areas. **Policy 20.10** establishes the minimum required open space per district.

Policy 20.25

The Wekiva Parkway Interchange Area Form-Based Code shall include the following provisions to promote efficient access to and through the area, and to protect the traffic flow along the Wekiva Parkway.

- Prohibit the vacation of rights-of-way to maintain the current grid system and facilitate its expansion;
- Require, as part of development approval, a spacing of 300 to 600 feet for local streets to create walkable

"city" blocks and maintain connectivity in the area and avoid the use of the highway for local traffic;

- Prohibit the use of cul-de-sacs and gated neighborhoods;
- Coordinate with the Expressway Authority to encourage the extension of local roads under the highway to maintain connectivity between the east and west sides;
- Limit the number of driveways along Kelly Park Road, Golden Gem and Plymouth Sorrento Road within the Plan Area, and encourage the use of shared driveways instead;
- Require compliance with Section 6.02.10 of the LDC, which requires a minimum distance separation between driveways and intersections;
- Require internal connectivity between sites, through joint-use driveways or alleys, to keep traffic off main roads;
- The Form-Based Code shall include standards for right-of-way width and cross section design based on street typology; and
- Provide pedestrian/bicycle connections at a maximum separation of 350 feet, through the use of mid-block paths or pedestrian shortcuts.

Policy 20.26

Large developments with 50,000 gross square feet or more and are adjacent to a major street, which is or may be used as a transit route, shall provide access for on-site public transit. The public transit stop shall including a bus pullout and shelter.

Policy 20.27

The City shall coordinate with developers the design and construction of proposed new streets within the plan area in conformance with the design standards contained in the Form-Based code. The following standards shall be followed:

- Specific right-of-way location of streets other than those shown on Map 20 of the ILUP shall be determined through the development review process.
- Continue enforcing Section 6.02.05 of the City's LDC (rights-of-way), which contains measures for the protection and use of rights-of-way, and consider the incorporation of more pedestrian-friendly standards in the Wekiva area form-based code.

Policy 20.28

Sites within the Wekiva Parkway Interchange Plan Area, as well as right-of-way areas, shall be subject to the vegetation protection and water conservation landscaping policies contained in the City's comprehensive plan. The City will include more restrictive vegetation protection standards in the Wekiva Parkway Interchange Form-Based Code to:

- Encourage transplanting and re-vegetation.
- Coordinate, on an as needed basis, with Orange County to update regulations for the protection of unique vegetative communities in both jurisdictions.
- Select and locate plants based on their ultimate growth.

Policy 20.29

In order to ensure that development within the mixed-use district creates a sense of community, the placement and orientation of buildings should be carefully planned. The following standards should be included in the form-based regulations:

- Primary building entrances shall orient toward the street, not to interior blocks or parking lots
- Freestanding single-use buildings should be avoided in all but the neighborhood character district, while mixed and interconnected buildings should be encouraged.
- Green areas or plazas may be used to create a prominent civic component to mixed-use areas. These green areas should be centrally located or placed in between the higher intensity uses.
- Standards for the design of gas stations, and other vehicular service uses, to ensure they fit into the desired pedestrian character. The Code will specify standards for building location, site layout, driveway location, signage and other design elements that will ensure compatibility with other proposed uses in the area.
- Building height regulations shall be established not to exceed the parameters listed for each character district in **Policy 20.30**.

Policy 20.30

Building heights shall be arranged so that the tallest buildings are located in proximity to the Kelly Park Interchange and Kelly Park Road itself between the two Village Center nodes. Building heights shall be stepped down/ reduced as development approaches the periphery of the Interchange Study Area and as development nears the rural lands outside the study area. The form-based code shall establish appropriate building heights for each character district and shall address reduced building heights in proximity to the edges of character districts and the study area itself in order to promote compatibility between districts and protection of the rural character of lands outside the study area. In no case shall building height exceed ten occupied floors within the Interchange Study Area without a Comprehensive Plan amendment.

Policy 20.31

The Wekiva Parkway Interchange Form-Based Code shall include standards for signage within the Wekiva Parkway Interchange Plan Area and shall have the purpose to maintain a pedestrian character within the village centers, but at the same time, allow visibility from the highway. Standards shall at minimum:

- Continue to require a sign master plan for all Mixed Use Developments, per LDC Section 2.02.20
- Ground signs shall not be allowed in the Core Area if buildings are located within 15 feet from the street right of way.
- Ground signs shall not exceed a maximum height of 12 feet. This maximum height may be further reduced in certain character districts.
- No billboards shall be allowed within the Wekiva Parkway Interchange Plan Area
- Building signs shall be designed to complement the architecture rather than obscure it.

construction, whereas larger pipes are constructed from ductile iron. Improvements to the distribution/transmission system have generally followed the recommendations outlined in the most recent master plan, with the timing of specific projects dependent on development patterns. **Map 10** shows the extent of the system within the interchange study area.

E. Public Schools

The area is currently served by Wolf Lake and Zellwood elementary schools, Wolf Lake Middle School and Apopka High School. According to the Orange County Public Schools (OCPS), all four schools are projected to be deficient by FY 2011-12. The OCPS current 10-year plan includes a relief elementary school for Wolf Lake and Zellwood, and a relief middle school for Wolf Lake. **Maps 11 to 13** show the attendance zones for these schools.

IV. Community Involvement

In conjunction with the County, the City conducted two public workshops to discuss the future growth around the proposed Wekiva Parkway Interchange. The first public workshop was conducted on February 25, 2010, and the second workshop was conducted on March 25, 2010. **Appendices B and C** contain the workshop summaries and the list of attendees. It should be noted that for the purpose of the Community Workshops an enlarged study area was reviewed, which included the area north of West Ponkan Road.

Additionally, the City held a public hearing before the City of Apopka Planning Commission on April 27, 2010 and the City Council on May 19, 2010.

V. Wekiva Parkway Interchange Vision Plan

The Wekiva Parkway will complete the outer beltway around Metro Orlando area. The completion of this outer ring, along with the proposed interchange, will result in added growth and development pressure within the Wekiva Study Area.

The Interchange Vision Plan was developed with a goal to accommodate new development that: (1) supports regional markets that depend on the Wekiva Parkway's function to move people and goods (light industry and warehousing, hotels/motels, restaurants, gas stations, truck stops, and convenience stores)¹; (2) is designed to complement the surrounding areas; and (3) manages and protects water and wildlife resources.

A. Land Use Vision

Even though the area is currently rural in character and the adopted land use categories for the area reinforce that character, the introduction of a highway interchange at Kelly Park Road will create development pressure in the area. The City, County and most area residents realize a need and have a desire for a plan for that future growth. The main goal of planning for growth is to situate it within an appropriate area around the interchange, and to allow sufficient density

¹ Guidelines for Preparing Comprehensive Plan Amendments for the Wekiva Study Area

and intensity to maximize sustainability and minimize environmental impacts on the Wekiva Study Area. The City also wants to take advantage of the opportunity this location provides to create a setting that will attract new quality employment to the area. The higher densities and intensities expected to accompany the interchange should transition into lower densities/intensities to ensure compatibility with the surrounding areas. Well thought-out, coordinated development is, therefore, a driving element of the interchange land use plan. Coordinated, transitional development at the interchange will protect meaningful tracts of connected open space, and preserve rural land outside of the interchange study area while allowing for carefully planned growth.

As shown on **Map 8**, potential Karst features are indicated proximate to the proposed interchange. For that reason, the vision plan proposes a measured approach to intensive development in the area immediately adjacent to the interchange, and instead create two nodes of development at the closest intersections to the parkway: Kelly Park Road/Golden Gem Road and Kelly Park Road/Plymouth Sorrento Road (see **Map 14**). The most dense and intense uses will be located within a 1/3-mile radius of the two proposed nodes. Between these nodes and the one-mile study area boundary, land uses will provide a transition to the existing lower densities, and less intense development character will be respected beyond the one-mile radius.

Map 15 shows the proposed interchange vision plan, which includes both City and unincorporated land. As shown on the map, the area within a 1-mile radius of the proposed interchange is proposed to be urban in character, with uses such as industrial, commercial, office, institutional/public, and medium and high-density residential uses. The highest intensity of use will be clustered around the two nodes as village centers. The area between the nodes and the one-mile radius will contain uses that will ensure the smooth transition to the less intense areas outside the one-mile radius.

The following is a description of the proposed character districts for the vision plan area.

1. Village Center (residential and commercial mix)

As noted above, the vision plan intends to concentrate the most intensive development within the two major intersection nodes. The type of development envisioned for these two nodes includes mixed-use buildings with retail uses on the ground floor and offices or residential spaces above. The Village Center character district will comprise approximately 5 to 15% of the area.

2. Edge Employment(employment uses)

Office uses may appear within the village center nodes as part of mixed-use buildings, or as stand-alone uses in the Edge Employment character district along the Wekiva Parkway. Other uses that would be appropriate for the Edge Employment area include industrial developments (clean industry), or large institutional uses (hospitals, educational facilities), which would provide much needed jobs in the area. Limited residential

will also be allowed. Both office and industrial uses will benefit from the visibility and access from the highway. Within the [EdgeEmployment](#) character district, greater attention will be applied to ensure protection of the potential Karst features and to allow for adequate setbacks from the highway. This area will not focus on the pedestrian environment as the village center, but would adopt a campus-like environment. Approximately 5 to 10% of the area is shown as [EdgeEmployment](#) on the vision plan map.

3. Interchange (highway-dependent uses)

The area between the proposed village centers and the parkway will be the most accessible to traffic exiting the highway. Therefore, the intended character for those areas will be a mix between Village Center and a more “suburban” type setting. It is expected that this is the area where gas stations would be located. There will be form-based standards adopted to ensure the transition from the fast-moving traffic in the highway to the more walkable environment expected to develop in the village centers. The Interchange character district will contain predominantly stand-alone uses (as opposed to mixed-use buildings) with less intensity of development than in the Village Center. [EdgeEmployment](#) character district type uses, including limited high density residential, may also occur in this character district. The area to be dedicated to Interchange uses comprises approximately 5 to 10% of the entire vision plan area.

4. Transitional (office, medium density residential uses)

Uses within the transitional areas will be regulated to minimize the impact of the most intensive areas (Village Center, [EdgeEmployment](#) and Interchange) on the existing lower density neighborhoods surrounding the study area. Medium densities in the form of town houses, apartments and condominiums, and office uses will be allowed within the Transitional district. The vision plan shows that approximately 10 to 20% of the total area will be dedicated to the Transitional character district. The expected density in the Transitional character district would accommodate between 5 to 15 dwelling units per acre depending on their location respective to neighborhood areas.

5. Neighborhood (residential)

The Neighborhood character district is intended to be primarily a single-family residential area. This district will have lower density residential than the Transitional district, allowing for a smooth transition into the existing lower density neighborhoods outside the 1-mile radius. The character of the area will be regulated through form-based standards to ensure that single-family homes are designed with front porches and that garages are located in the back with access from alleyways. The neighborhood area comprises over 50% of the vision plan area.

6. Recreation and Institutional

The Vision Plan shows an area as Recreation, consistent with the adopted Northwest Small Area Plan. This, however, does not mean that there will only be one area designated for recreation/open space. As properties develop (especially large tracts), the City will consider dedication of land for open space. Institutional uses (schools, churches, etc.) will also be defined as the area develops. It is anticipated that a minimum of 15% of the land within the area will eventually be used for open space/recreation purposes.

B. Vision Plan Holding Capacity

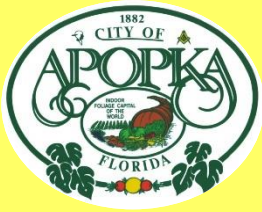
Based on the land uses and densities proposed in the vision plan, holding capacities were calculated to identify the amount of development that could potentially occur in the area. **Table 3** demonstrates that the vision plan area could accommodate approximately 15,873 residential units and 22,587,535 square feet of non-residential development.

Table 3: Vision Plan Holding Capacity

Proposed Land Use	Total Acres	% of Total	Max. Intensity (FAR)	Max. Density (UPA)	Density/ Intensity Factor	Total Dwelling Units	Non-Residential Square Feet
Village Center Core (assumes 1st floor non-resid. + resid above)	80	2.1	0.5	12	0.75	720	1,306,800
Village Center balance (assumes 1st floor non-resid. + resid above)	248	6.4	0.35	12	0.75	2,232	2,835,756
Interchange (assumes 10% residential)	175	4.5	1.0	15	0.70	184	4,811,875
Edge Employment (assumes 10% residential)	260	6.7	0.5	7.5	0.60	117	3,052,231
Transitional (assumes 70% resid.; 30% non)	581	14.9	1.0	15	0.85	5,185	6,453,276
Neighborhood (assumes 90% residential)	2,360	60.7	0.5	5	0.70	7,435	3,598,699
Parks/Recreation	121	3.1	0.2		0.50	0	528,897
Wekiva Parkway ROW	63	1.6					
TOTAL	3,889	100.0				15,873	22,587,535

Note: Acreages and yields are approximations only.

Based on the total acres of the area and the potential for residential and non-residential development noted above, an *overall* density of 4 du/ac and an *overall* FAR of 0.14 could be achieved.



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER:

MEETING OF: May 8, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map

SUBJECT: CHANGE OF ZONING – LAURA R. MURPHY

PARCEL ID NO: 28-20-28-0000-00-060

**REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING FOR
 LAURA R. MURPHY – 359 W. LESTER ROAD
 FROM: AG (AGRICULTURE)
 TO: R-1 (SINGLE FAMILY RESIDENCE)**

SUMMARY:

OWNER/APPLICANT: Laura R. Murphy
 LOCATION: 359 W. Lester Road
 EXISTING USE: Errol Equestrian Center
 CURRENT ZONING: Agriculture
 DEVELOPMENT POTENTIAL: 52 Single Family Homes (Proposed)
 PROPOSED ZONING: R-1 (Single Family Residential)
 TRACT SIZE: 19.94 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:
 EXISTING: 1 single family home
 PROPOSED: 69 single family homes

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The future land use, for the subject parcel, was amended on May 2, 2018 from “Agriculture” to “Residential Low Suburban”. The existing Future Land Use, “Residential Low Suburban” and the proposed zoning, “R-1”, are the same conditions as the nearby subdivision, “Rock Springs Estates”.

A request to assign a change of zoning to R-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Residential Low Suburban (0-3.5 du / ac) Future Land Use designation.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

ORANGE COUNTY PUBLIC SCHOOLS: The applicant obtained a Capacity Enhancement Agreement (CEA) with Orange County Public Schools (OCPS) prior to the subject property’s Future Land Use amendment on May 2, 2018. The applicant is required to obtain a concurrency mitigation agreement prior to adoption of the Final Development Plan.

Elementary School: Rock Springs Elementary
Middle School: Apopka Middle School
High School: Apopka High School

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)
May 16, 2018 - City Council (7:00 pm) - 1st Reading
June 6, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification- April 24, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from Agriculture to R-1 for the property owned by Laura Murphy, and located at 359 W. Lester Road

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from Agriculture to R-1 for the property owned by Laura Murphy, and located at 359 W. Lester Road, subject to City Council approval of Ordinance No. 2617.

Note: This item is considered **Quasi-Judicial**. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Low Density Residential	“County” A-1	Woodlands
East (City)	“City” Agriculture	“City” AG	Bird Reconditioning Center
South (City & County)	“City” Residential Low & “County” Low Medium Density Residential	“City” R-2 & “County” A-2	Single Family Homes
West (County)	“County” Low Density Residential	“County” A-1	Greenhouses

LAND USE & TRAFFIC COMPATIBILITY:

The property is currently accessed by W. Lester Road. A multi-use trail, which links to the West Orange Trail, is on the south side of W. Lester Road. The Rock Springs Estates Subdivision, sharing the same future land use and proposed zoning is southwest of the subject property. East adjacent of the subject property is the Avian Reconditioning Center.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-1 zoning is consistent with the proposed Future Land Use designation, “Residential Low Suburban” (0-3.5 du / ac) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

1. Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code.
2. Guest/granny quarters in accordance with article VII of this code.

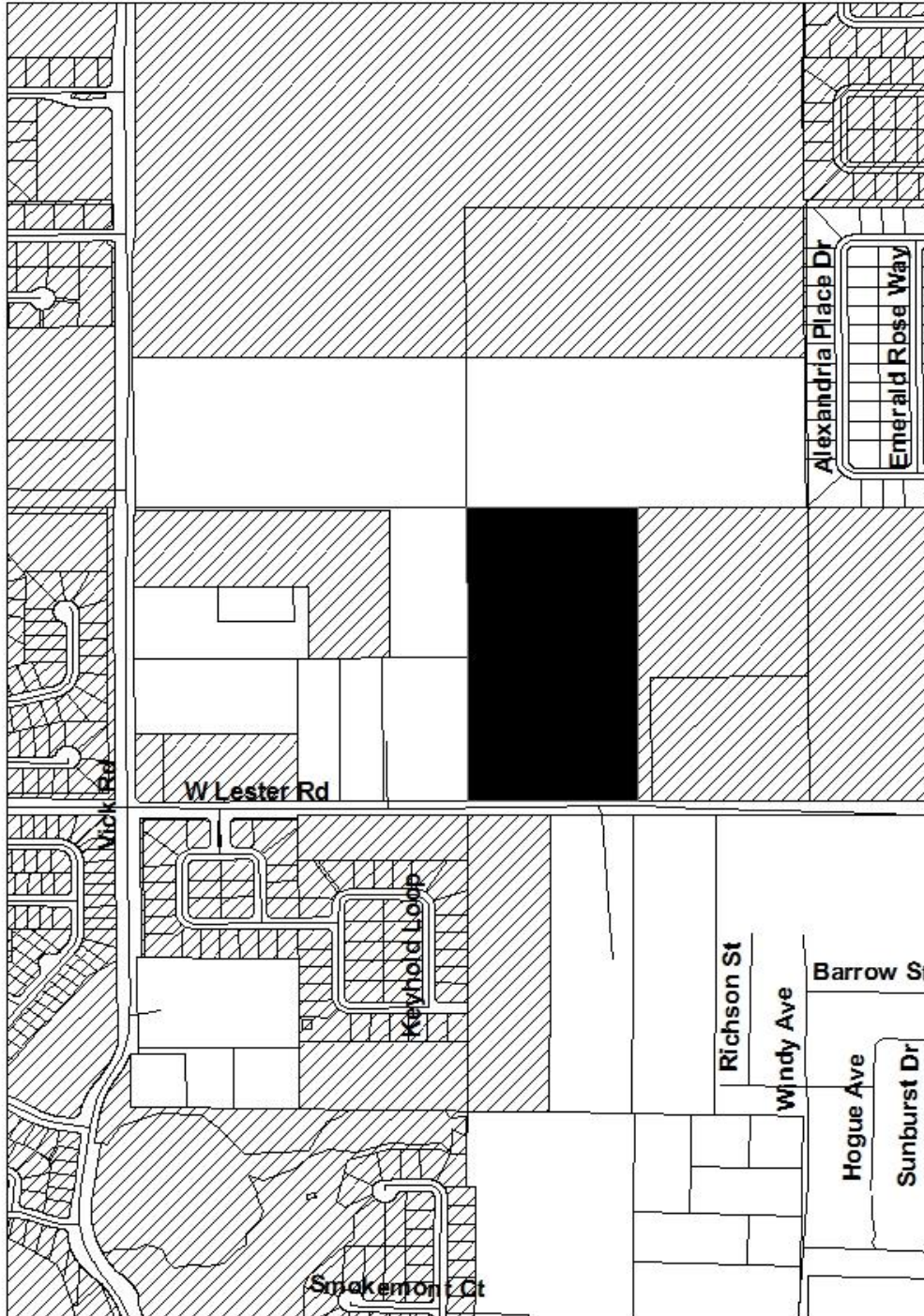
R-1 ZONING REGULATIONS:

- Minimum Site Area: 8,000 sq. ft.
- Minimum Lot Width: 75 ft.
- Front Setback: 25 ft. (30 ft. for front loaded garages)
- Side Setback: 10 ft.
- Rear Setback: 20 ft.
- Corner Setback: 25 ft.
- Minimum Living Area: 1,500 sq. ft.



Laura R. Murphy, Property Owner
+/- 19.94
Rezoning
From: Agriculture
To: R-1 (Single Family Residential)
Parcel ID # 28-20-28-0000-00-060

VICINITY MAP

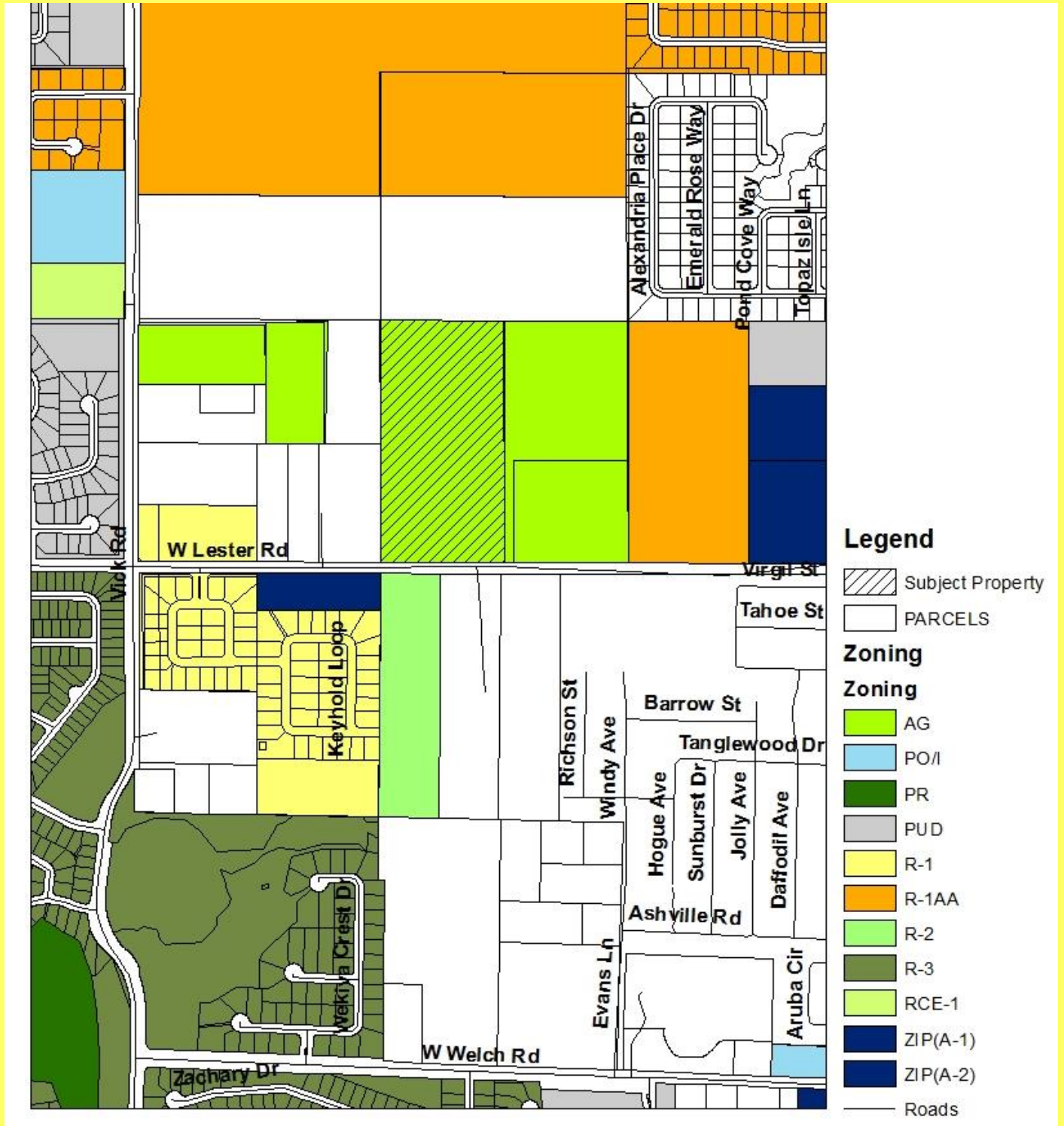


Legend















- Subject Property
- PARCELS**
- <all other values>
- CITY_CODE**
- APK
- ORG
- Roads



ADJACENT ZONING MAP



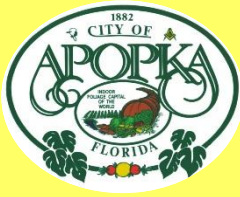
Legend

-  Subject Property
-  PARCELS
- Zoning**
- Zoning**
-  AG
-  PO/I
-  PR
-  PUD
-  R-1
-  R-1AA
-  R-2
-  R-3
-  RCE-1
-  ZIP(A-1)
-  ZIP(A-2)
-  Roads



ADJACENT USES MAP





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Future Land Use Map
Adjacent Zoning
Adjacent Uses

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT – JANINE AND RICHARD EDMONDSON**

PARCEL ID NUMBER: **24-20-27-0000-00-085**

REQUEST: **RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT FOR JANINE AND RICHARD EDMONDSON**
FROM: **“COUNTY” RURAL**
TO: **“CITY” RESIDENTIAL VERY LOW SUBURBAN (0-2 DU /AC)**

SUMMARY:

OWNERS/APPLICANTS: Janine and Richard Edmondson

LOCATION: 3904 Plymouth Sorrento Road

EXISTING USE: Single Family Home

CURRENT ZONING: “County” A-2

EXISTING DEVELOPMENT: Single Family Home

PROPOSED ZONING: “City” R-1AA (Note: this Future Land Use amendment request is being processed along with a request for annexation and to change the zoning classification from “County” A-2 to “City” R-1AA (Residential Single Family District).

TRACT SIZE: 1.0 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: **EXISTING:** Single Family Home
PROPOSED: 2 Single Family Homes

FUNDING SOURCE: N/A

DISTRIBUTION:

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcel was annexed in the city on April 18, 2018 by Ordinance 2640. Presently, the subject property does not have a “city” future land use designation or “city” zoning classification assigned. The applicant requests a future land use designation of “city” Residential Very Low Suburban.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Residential Very Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Very Low Suburban FLUM designation at the subject site:

Future Land Use Element

1. **Policy 3.1.c**

Very Low Density Suburban Residential

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

SCHOOL CAPACITY REPORT: : The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

May 16, 2018 - City Council (1:30 pm) - 1st Reading

June 6, 2018 – City Council (7:00 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

April 24, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Very Low Suburban for the property owned by Janine and Richard Edmondson, and located at 3904 Plymouth Sorrento Road.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from “County” Rural to “City” Residential Very Low Suburban, subject to the findings of the Staff Report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Rural	“County” A-2	Greenhouse
East (City)	“City” Residential Very Low Suburban	“City” R-1AAA	Agriculture
South (County)	“County” Rural	“County” A-2	Single Family Home
West (County)	“County” Rural	“County” A-2	Greenhouse

II. LAND USE ANALYSIS:

The subject property is located on a site that is ideal for commercial use, which makes the request for a Commercial future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

Properties to the south and west are developed as existing single-family homes, which properties to the east and north are vacant, but have a future land use designation and zoning classification that permit single-family residential.

The proposed Residential Low Suburban future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Northern Area” of the JPA. The proposed FLUM Amendment request for a change from “County” Rural (0-1 du/10 ac) to “City” Residential Very Low Suburban (0-2 du / ac) is consistent with the terms of the JPA (Second Amendment. Janine and Richard Edmondson are the applicants of the proposed future land use amendment and proposed change of zoning for the property, and have been notified of the hearing schedule.

Transportation: Road access to the site is from Plymouth Sorrento Road.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka’s adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The property contains a single family home with a 2,486 sq. ft. living area and moderate tree coverage.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Residential Very Low Suburban (0-2 du / ac). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population

CALCULATIONS:

ADOPTED: 1 Unit(s) x 2.659 p/h = 3 persons

PROPOSED: 1 Unit = 5 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 392 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD

3. Projected total demand under proposed designation: 392 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 12 lbs/ day
4. Projected LOS under proposed designation: 20 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm

4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.009 acres
3. Projected facility under proposed designation: 0.015 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

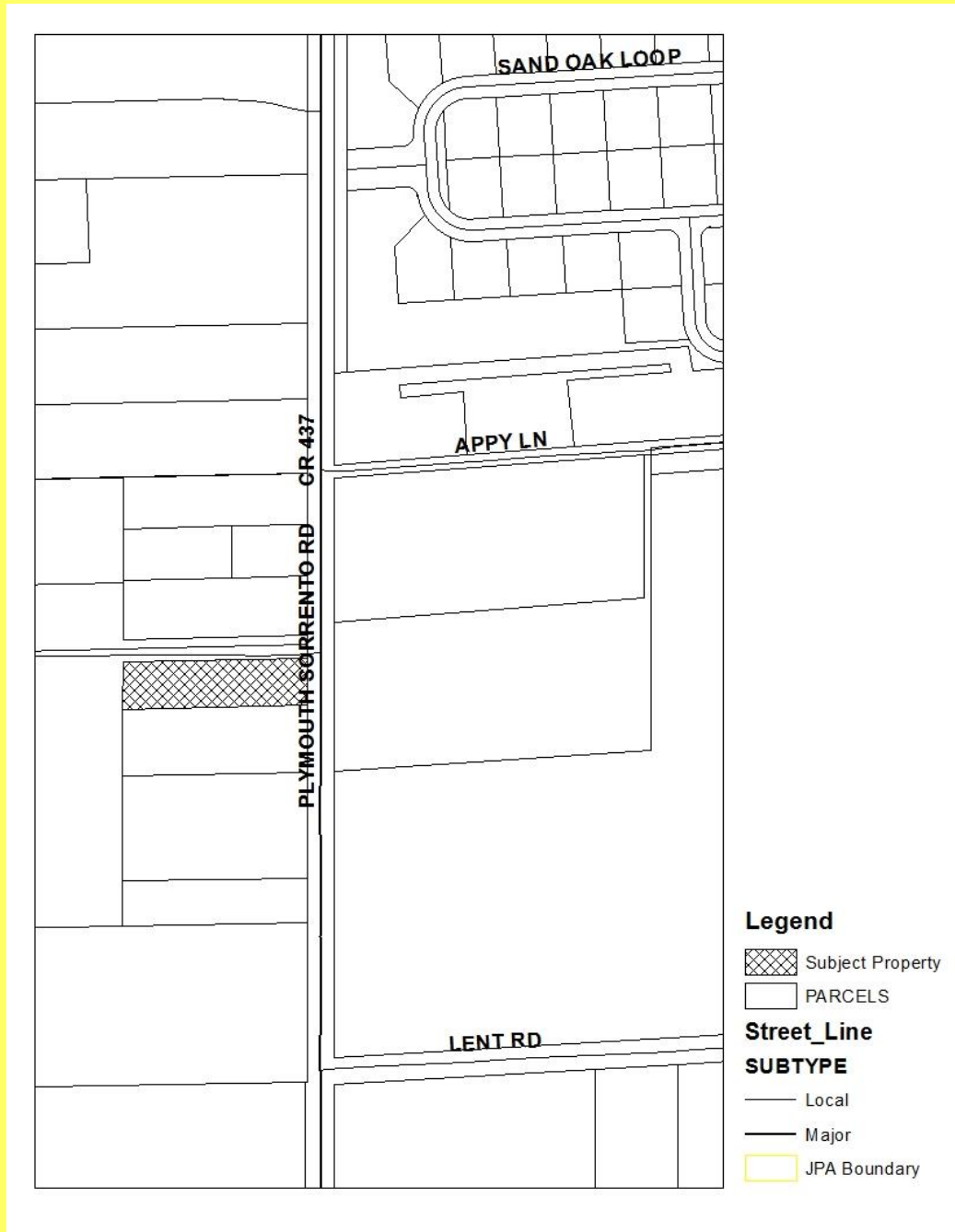
Standards set forth in the City's Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Janine and Richard Edmondson
1 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Rural
To: "City" Residential Very Low Suburban
Proposed Change of Zoning:
From: "County" A-2
To: R-1AA
Parcel ID #: 24-20-27-0000-00-085

VICINITY MAP



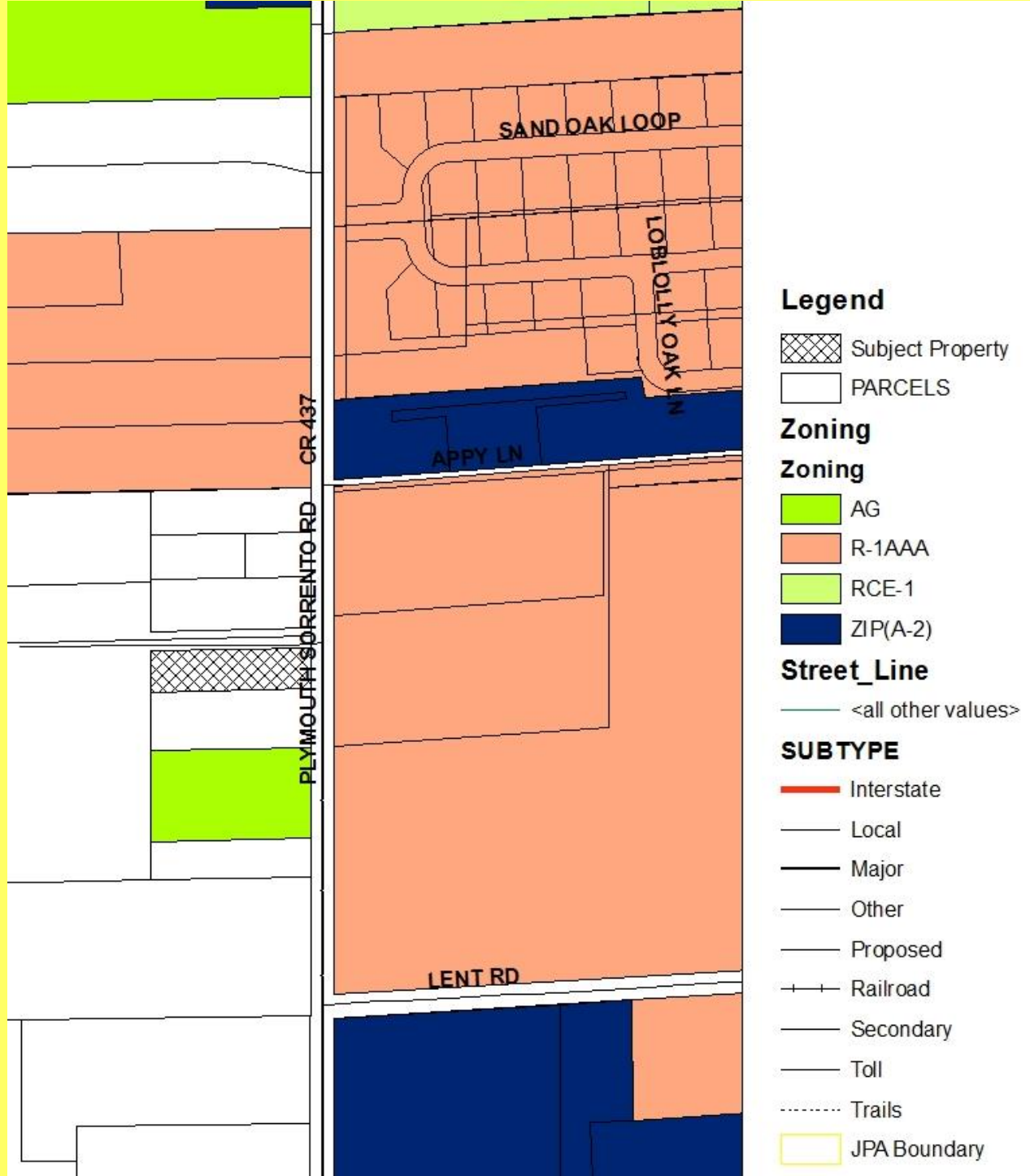


FUTURE LAND USE MAP



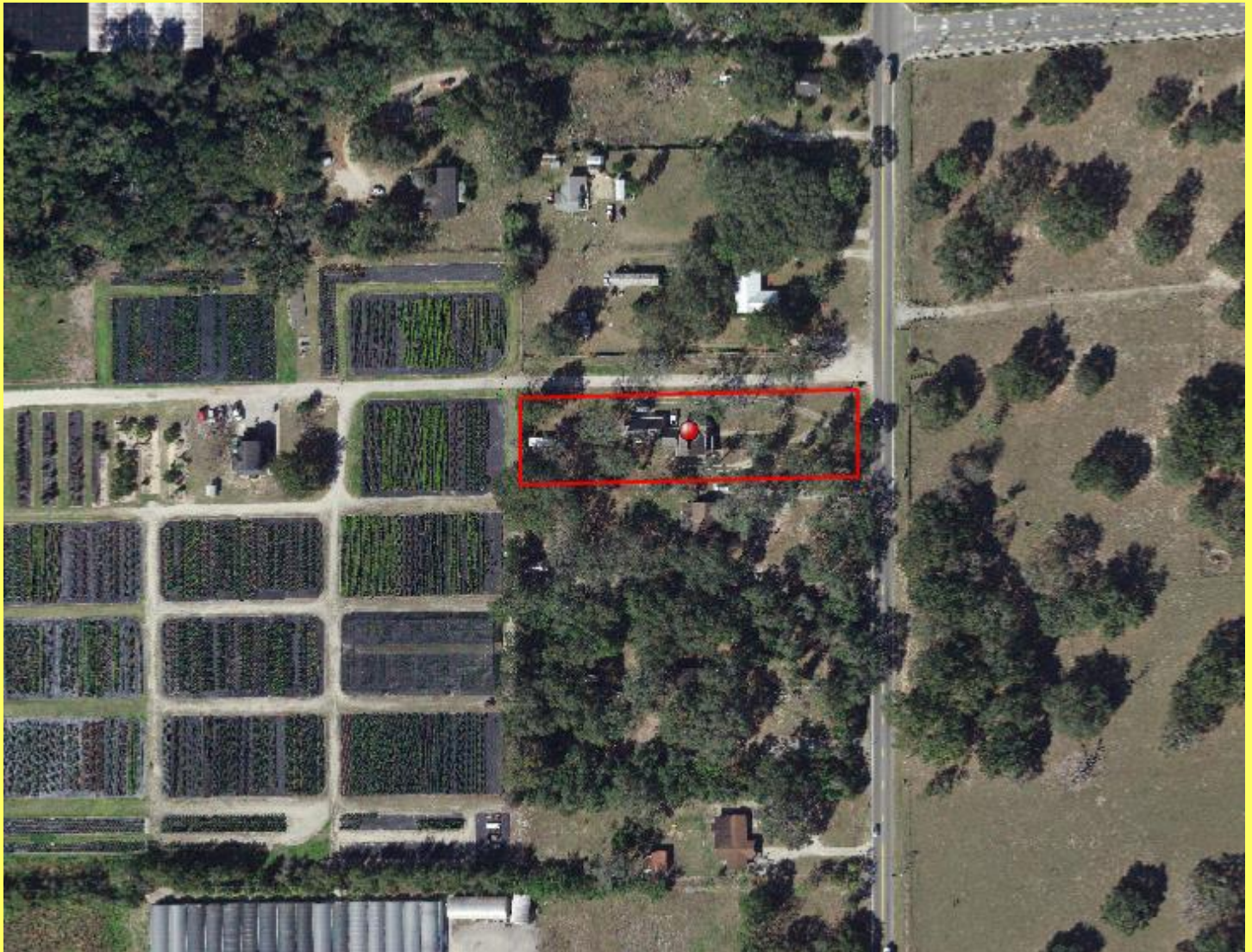


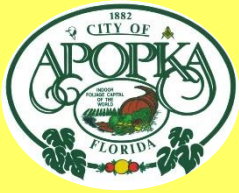
ADJACENT ZONING





ADJACENT USES





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning
Adjacent Uses

SUBJECT: CHANGE OF ZONING – JANINE AND RICHARD EDMONDSON

PARCEL ID NUMBER: 24-20-27-0000-00-085

REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING FOR JANINE AND RICHARD EDMONDSON
FROM: “COUNTY” A-2 (AGRICULTURAL)
TO: “CITY” R-1AA (SINGLE FAMILY RESIDENTIAL)

SUMMARY:

OWNERS/APPLICANTS: Janine and Richard Edmondson
LOCATION: 3904 Plymouth Sorrento Road
PARCEL ID NUMBERS: 24-20-27-0000-00-085
EXISTING USE: Single Family Home
CURRENT ZONING: “County” A-2
EXISTING DEVELOPMENT: Single Family Home
PROPOSED ZONING: “City” R-1AA (Note: this Change of Zoning request is being processed along with a request to amend the Future Land Use from “County” Rural to “City” Residential Very Low Suburban (0-2 du/ac)
TRACT SIZE: 1.0 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: Single Family Home
PROPOSED: 2 Single Family Homes

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. The applicant is requesting the City to assign a zoning classification of R-1AA (Single Family Residential) to the property.

The subject parcel was annexed into the city on April 18, 2018 by Ordinance Number 2641

A request to assign a change of zoning to R-1AA is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from “County” Rural to “City” Residential Very Low Suburban.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Residential Very Low Suburban (0-2 du / ac) Future Land Use designation.

SCHOOL CAPACITY REPORT: : The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

May 16, 2018 - City Council (1:30 pm) - 1st Reading

June 6, 2018 – City Council (7:00 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

April 24, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-2 to “City” R-1AA for the property owned by Janine and Richard Edmondson, and located at 3904 Plymouth Sorrento Rd.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-2 to “City” R-1AA for the property owned by Janine and Richard Edmondson, and located at 3904 Plymouth Sorrento Rd.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Rural	“County” A-2	Greenhouse
East (City)	“City” Residential Very Low Suburban	“City” R-1AAA	Agriculture
South (County)	“County” Rural	“County” A-2	Single Family Home
West (County)	“County” Rural	“County” A-2	Greenhouse

**LAND USE & TRAFFIC
 COMPATIBILITY:**

The property is currently accessed by Plymouth Sorrento Rd.

**COMPREHENSIVE PLAN
 COMPLIANCE:**

The proposed R-1AA zoning is consistent with the proposed Future Land Use designation, “Residential Very Low Suburban” (0-2 du / ac) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

1. Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code.
2. Guest/granny quarters in accordance with article VII of this code.

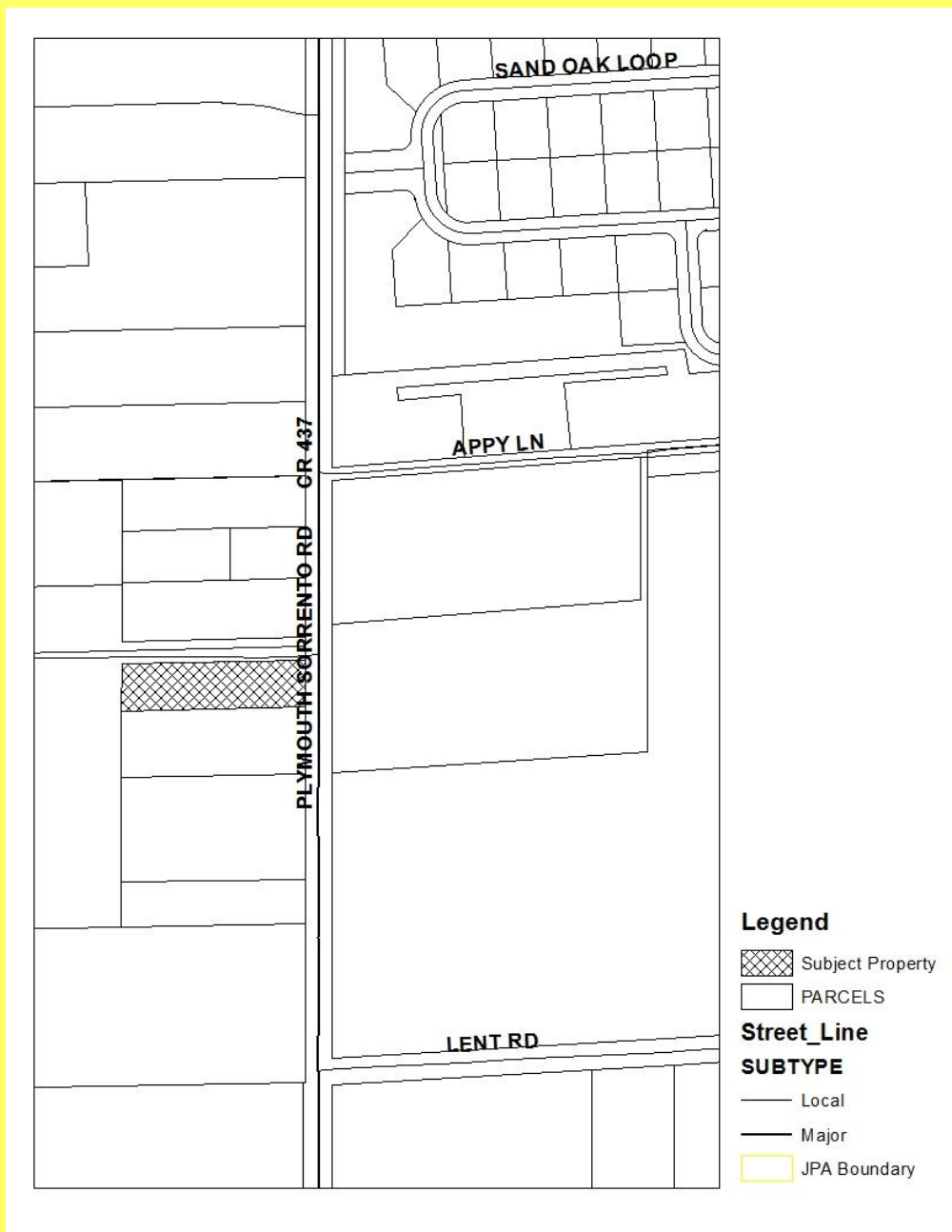
ZONING SETBACKS:

Minimum Site Area	12,500 sq. ft.
Minimum Lot Width	95 ft.
Front	25 ft. (30 ft. for front loaded garages)
Side	10 ft.
Rear	20 ft.
Corner	25 ft.
Minimum Living Area	1,700 sq. ft.



Janine and Richard Edmondson
1 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Rural
To: "City" Residential Very Low Suburban
Proposed Change of Zoning:
From: "County" A-2
To: R-1AA
Parcel ID #: 24-20-27-0000-00-085

VICINITY MAP



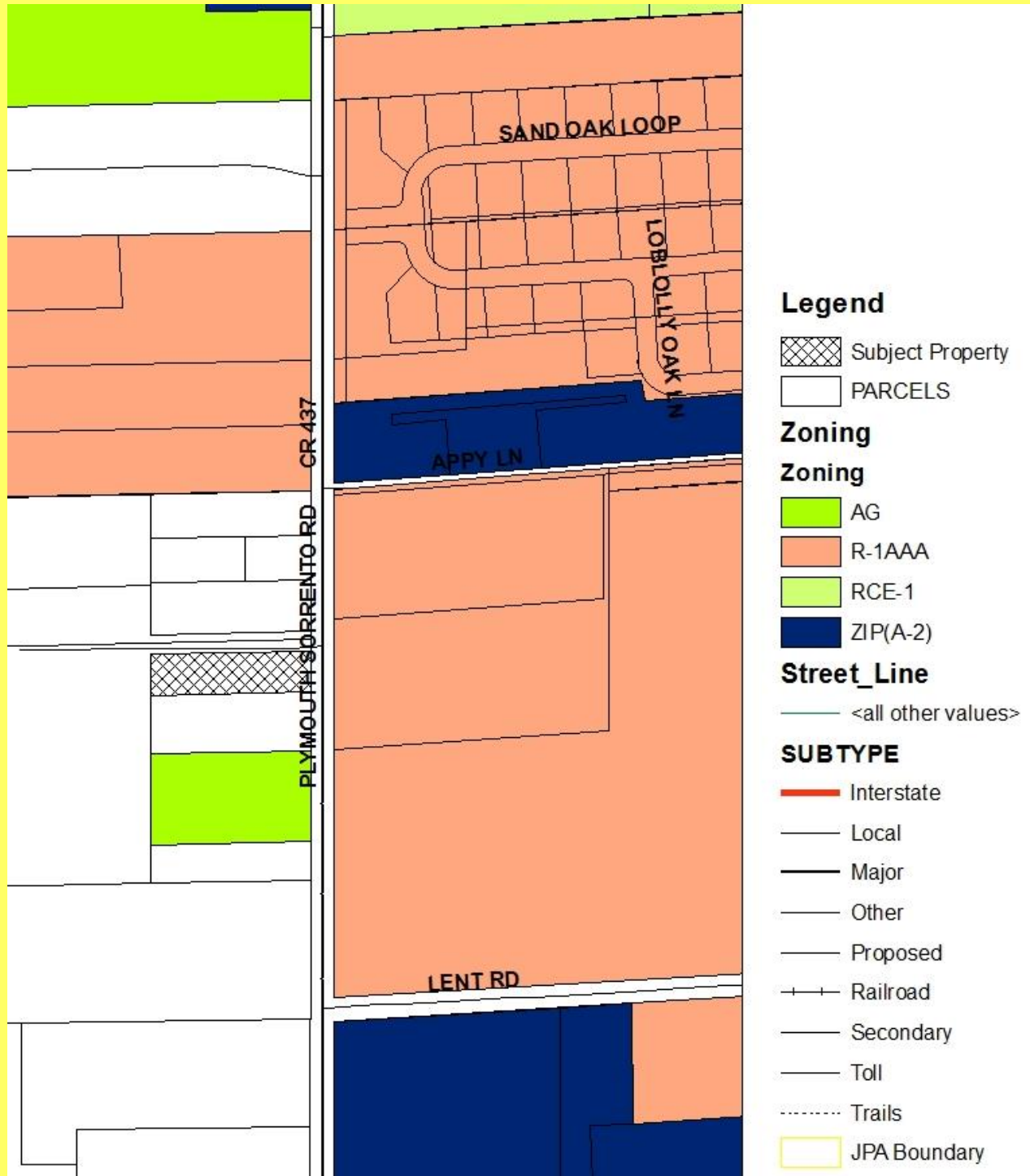


FUTURE LAND USE MAP





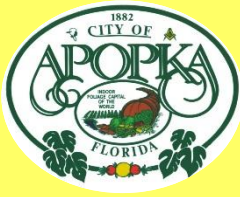
ADJACENT ZONING





ADJACENT USES





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Future Land Use Map
Adjacent Zoning
Adjacent Uses

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT – SUNTRUST BANK**

PARCEL ID NUMBER: **11-21-28-0750-00-050**

REQUEST: **RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT FOR SUNTRUST BANK**
FROM: “COUNTY” COMMERCIAL (MAX. 3.0 FAR)
TO: “CITY” COMMERCIAL (MAX. 2.5 FAR)

SUMMARY:

OWNER: SunTrust Bank

APPLICANT: Casseaux, Hewett, and Walpole

LOCATION: 920 E. Semoran Blvd.

EXISTING USE: Vacant

CURRENT ZONING: “County” R-2

DEVELOPMENT
POTENTIAL: 4,055 sq. ft. commercial space

PROPOSED ZONING: “City” C-1 (Note: this Future Land Use amendment request is being processed along with a request to change the zoning classification from “County” R-2 to “City” C-1 (Retail Commercial).

TRACT SIZE: 0.37 +/- acres

MAXIMUM ALLOWABLE
DEVELOPMENT: EXISTING: 48,351 sq. ft.
 PROPOSED: 4,029 sq. ft.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcel was annexed in the city on April 18, 2018 by Ordinance 2642. Presently, the subject property does not have a “city” future land use designation or “city” zoning classification assigned. The applicant requests a future land use designation of “city” Commercial.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Commercial Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Commercial FLUM designation at the subject site:

Future Land Use Element

1. **Policy 3.1.i**

Commercial

Primary uses shall be for business, commerce, and convenience shopping which may be neighborhood or community oriented. The maximum floor area ratio shall be .25 gross floor area. Institutional land uses of less than five acres; and public facilities or utilities of less than five acres.

The expansion of strip commercial areas shall be prohibited except in infill areas.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

May 16, 2018 - City Council (7:00 pm) - 1st Reading

June 6, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

April 24, 2018 – Public Notice and Notification

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Commercial for the property owned by SunTrust Bank, and located at 920 E. Semoran Blvd.

Planning Commission Recommended Motion: Find the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommend approval of the change of Future Land Use Designation from “County” Commercial to “City” Commercial, subject to the findings of the Staff Report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Commercial	“County” C-3	Agriculture and Single Family Homes
East (City)	“City” Commercial	“City” C-1	Subdivision (Chandler Estates)
South (City and County)	“City” Commercial	“City” C-2	Single Family Homes
West (County)	“City” Commercial	“City” C-2	Single Family Home

II. LAND USE ANALYSIS:

The subject property is located on a site that is ideal for commercial use, which makes the request for a Commercial future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

Properties at all cardinal directions are zoned for commercial usage, and the subject property is adjacent to an arterial road, East Semoran Boulevard.

The proposed Commercial future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

Transportation: Road access to the site is from Semoran Boulevard

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The property comprises mostly of grasslands, with some tree cover. Additionally, the property has a single family home.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Commercial (Max. 0.25 FAR). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7,253 GPD
3. Projected total demand under proposed designation: 604 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 9,670 GPD
3. Projected total demand under proposed designation: 806 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka

2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 97 lbs/ day
4. Projected LOS under proposed designation: 8 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

- Water treatment plant permit number: CUP No. 3217
- Permitting agency: St. John’s River Water Management District
- Permitted capacity of the water treatment plant(s): 9.353 MGD
- Total design capacity of the water treatment plant(s): 33.696 MGD
- Availability of distribution lines to serve the property: Yes
- Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: N/A acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

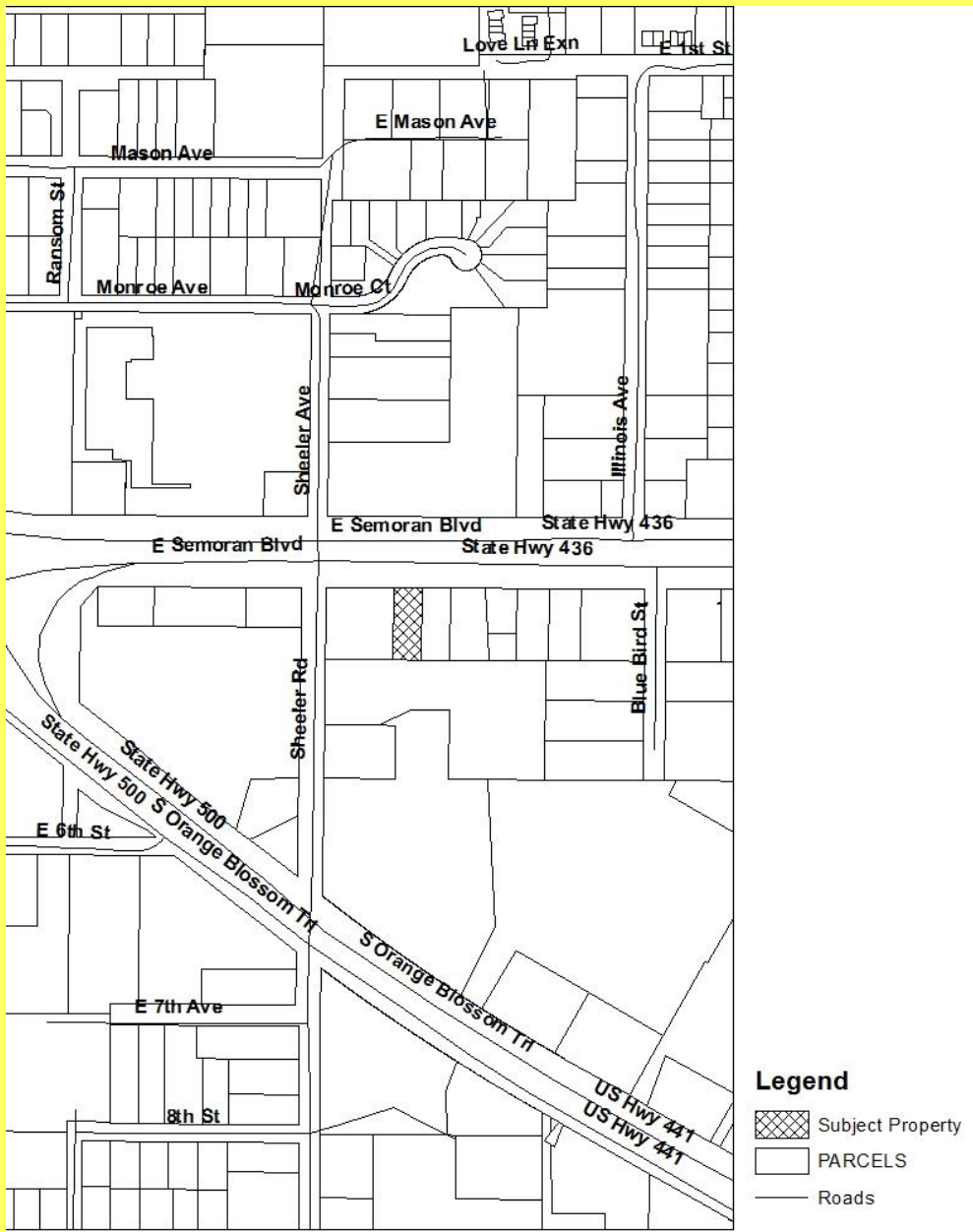
Standards set forth in the City’s Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



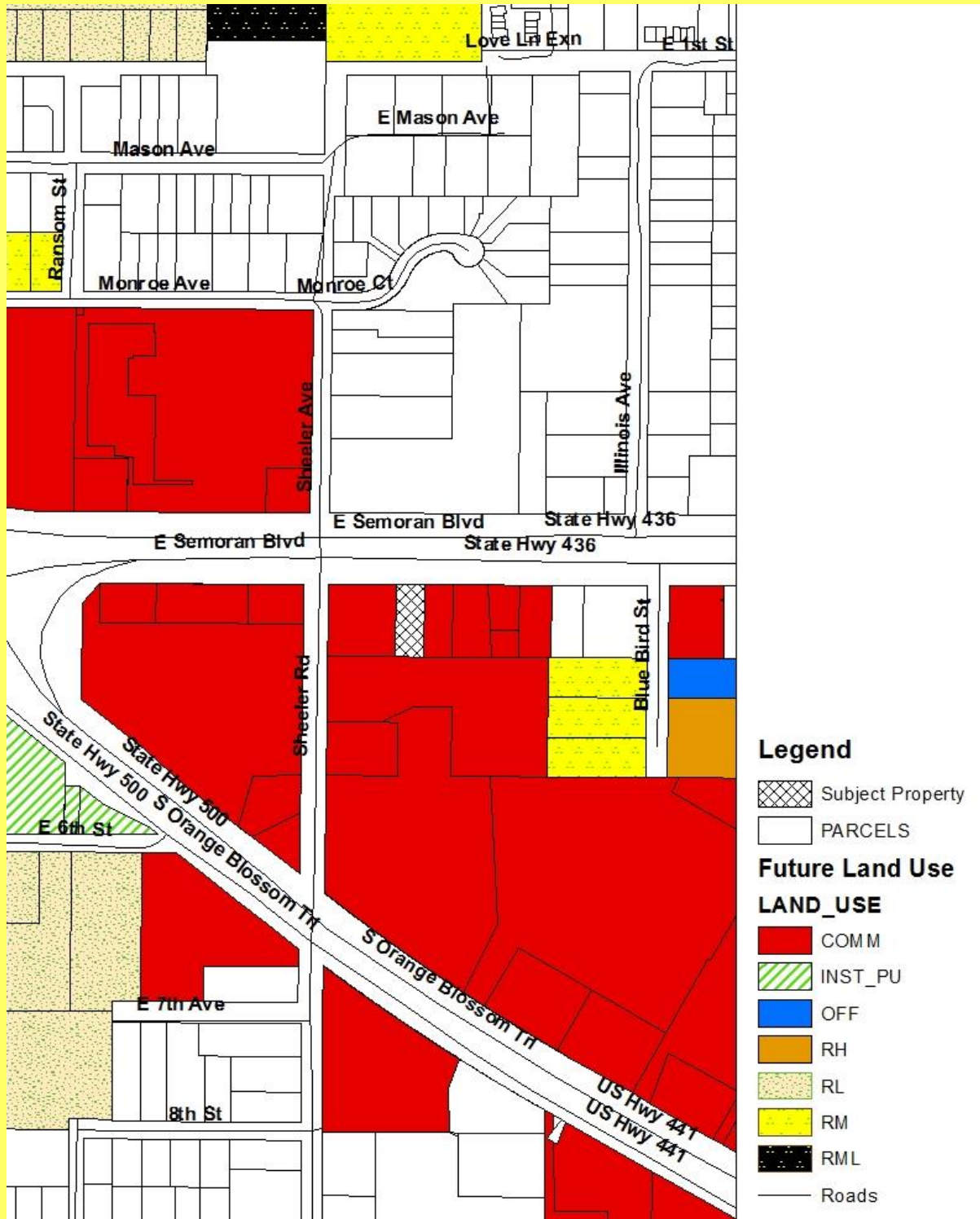
SunTrust Bank
0.37 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Commercial
To: "City" Commercial
Proposed Change of Zoning:
From: "County" R-2
To: "City" C-1
Parcel ID #: 11-21-28-0750-00-050

VICINITY MAP



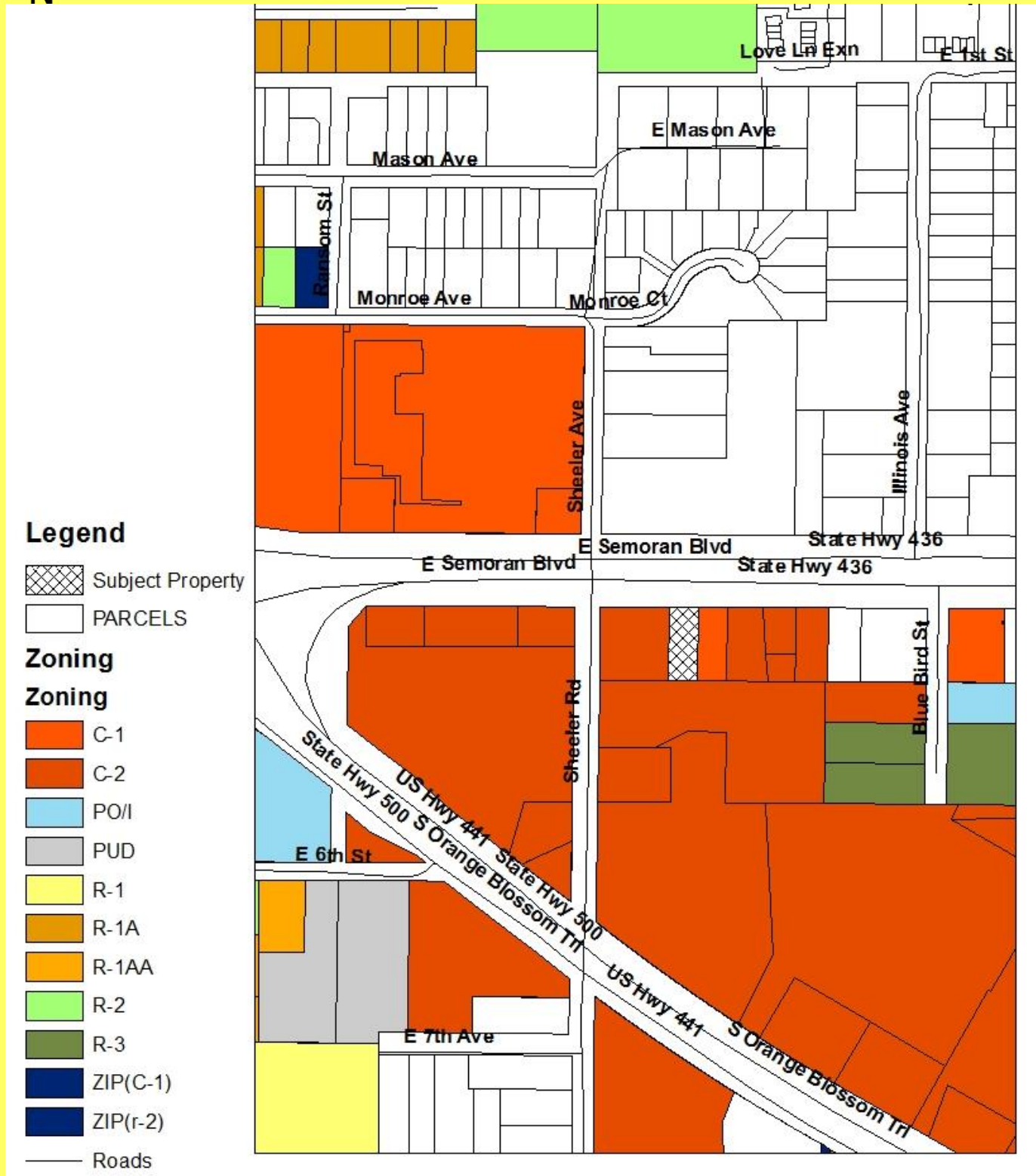


FUTURE LAND USE MAP



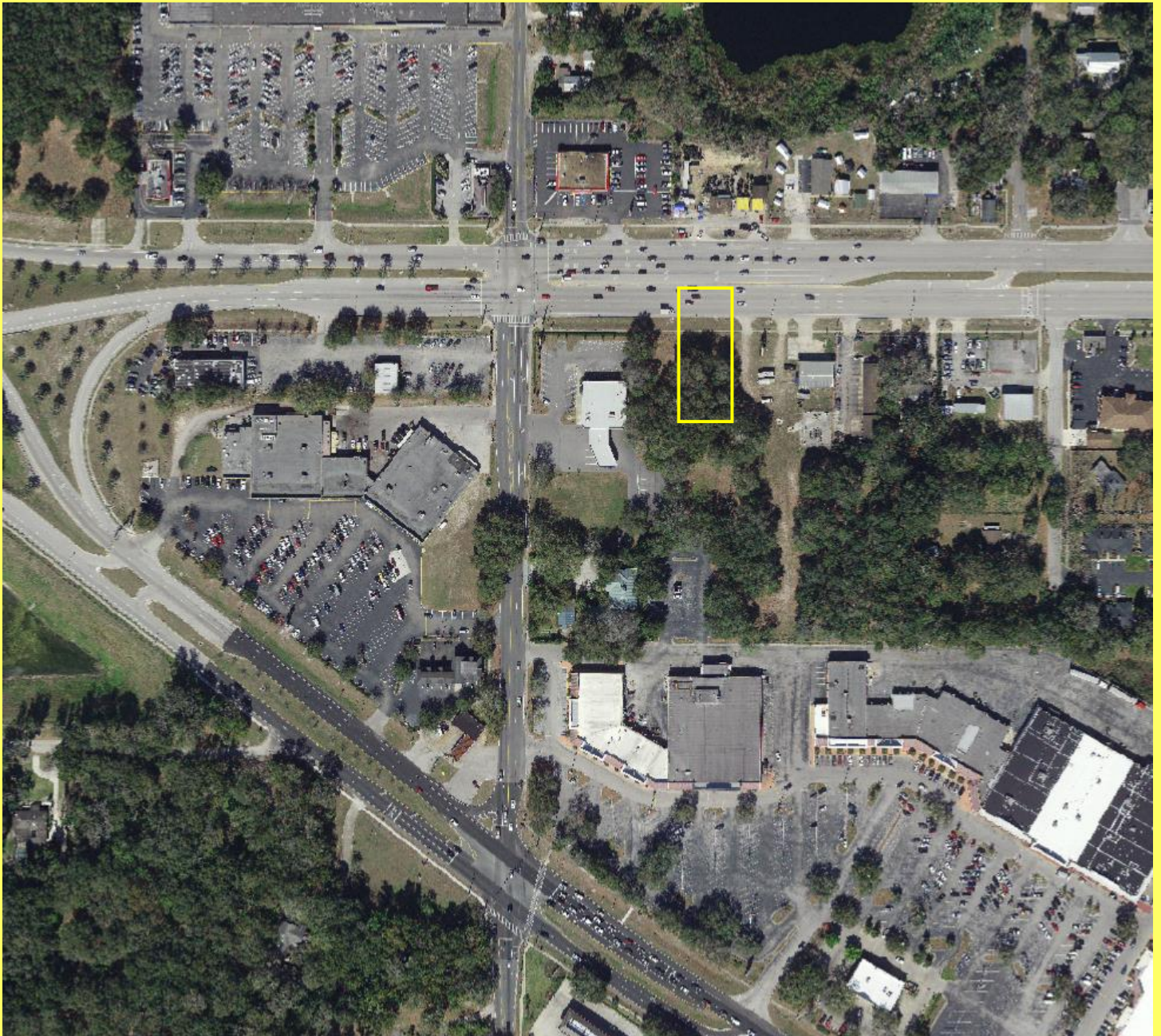


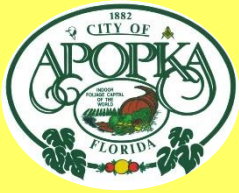
ADJACENT ZONING





AERIAL MAP





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER:

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning
Adjacent Uses

SUBJECT: CHANGE OF ZONING – SUNTRUST BANK

PARCEL ID NUMBERS: 11-21-28-0750-00-050

**REQUEST: RECOMMEND APPROVAL OF THE CHANGE OF ZONING FOR
SUNTRUST BANK
FROM: “COUNTY” R-2
TO: “CITY” C-1 (COMMERCIAL RETAIL)**

SUMMARY

OWNER: SunTrust Bank
APPLICANT: Causseaux, Hewett, and Walpole, Inc.
LOCATION: 920 E Semoran Blvd
EXISTING USE: Vacant
CURRENT ZONING: “County” R-2
DEVELOPMENT POTENTIAL: 4,029 sq. ft. commercial space
PROPOSED ZONING: “City” C-1 (Commercial Retail) (Note: this Change of Zoning request is being processed along with a request to amend the Future Land Use from “County” Commercial (Max. 3.0 FAR) to “City” Commercial (Max. 0.25 FAR)
TRACT SIZE: 0.37 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: 48,351 sq. ft. commercial space
PROPOSED: 4,029 sq. ft. commercial space

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not been assigned a “City” zoning category. The applicant is requesting the City to assign a zoning classification of C-1 (Commercial Retail) to the property.

The subject parcel was annexed into the city on April 18, 2018 by Ordinance Number 2642.

A request to assign a change of zoning to C-1 is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from “County” Commercial to “City” Commercial.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed C-1 (Commercial Retail) Future Land Use designation.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 2, 2018.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

May 16, 2018 - City Council (7:00 pm) - 1st Reading

June 6, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

Public Notice and Notification- April 24, 2018

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” R-2 to “City” C-1 for the property owned by SunTrust Bank, and located at 920 E Semoran Blvd.

Recommended Motion: Planning Staff recommends finding the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” R-2 to “City” C-1 for the property owned by SunTrust Bank, and located at 920 E Semoran Blvd.

Note: This item is considered **Quasi-Judicial**. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Commercial	“County” C-3	Retail Uses
East (City)	“City” Commercial	“City” C-1 and C-2	Auto Parts Vendor and Vacant Lot
South (City)	“City” Commercial	“City” C-2	Vacant
West (City)	Commercial	“City” C-1 and C-2	Bank and Vacant Lots

**LAND USE & TRAFFIC
 COMPATIBILITY:**

The property is currently accessed by East Semoran Blvd.

**COMPREHENSIVE PLAN
 COMPLIANCE:**

The proposed C-1 zoning is consistent with the proposed Future Land Use designation, “Commercial” (Max 0.25 FAR) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

ALLOWABLE USES:

1. Any nonresidential permitted use in the PO/I or CN districts.
2. Retail establishments.
3. Banks, savings and loan and other financial institutions.
4. Bowling alleys, skating rinks, billiard parlors and similar amusement centers, provided such activities and facilities are enclosed within a sound-proof building.
5. Churches and schools.
6. Day nurseries, kindergartens and other child care centers.
7. Drive-in restaurants, with property lines no closer than 200 feet from any residential districts or uses.
8. Florist shops, the products of which are displayed and sold wholly within an enclosed building.
9. Hotels, motels, bed and breakfast facilities.
10. Personal service establishments such as barbershops, beauty parlors, professional and other offices, parking garages and lots, laundry and dry cleaning pickup station, self-service coin-operated laundry and dry cleaning establishments, shoe shine and repair, tailoring, travel services, watch and clock repair and locksmiths, etc.
11. Post offices.
12. Restaurants.

13. Theaters, enclosed in structures.

14. Clubs and lodges.

15. Funeral parlors, when the sole use of the facility shall be for funeral rites.

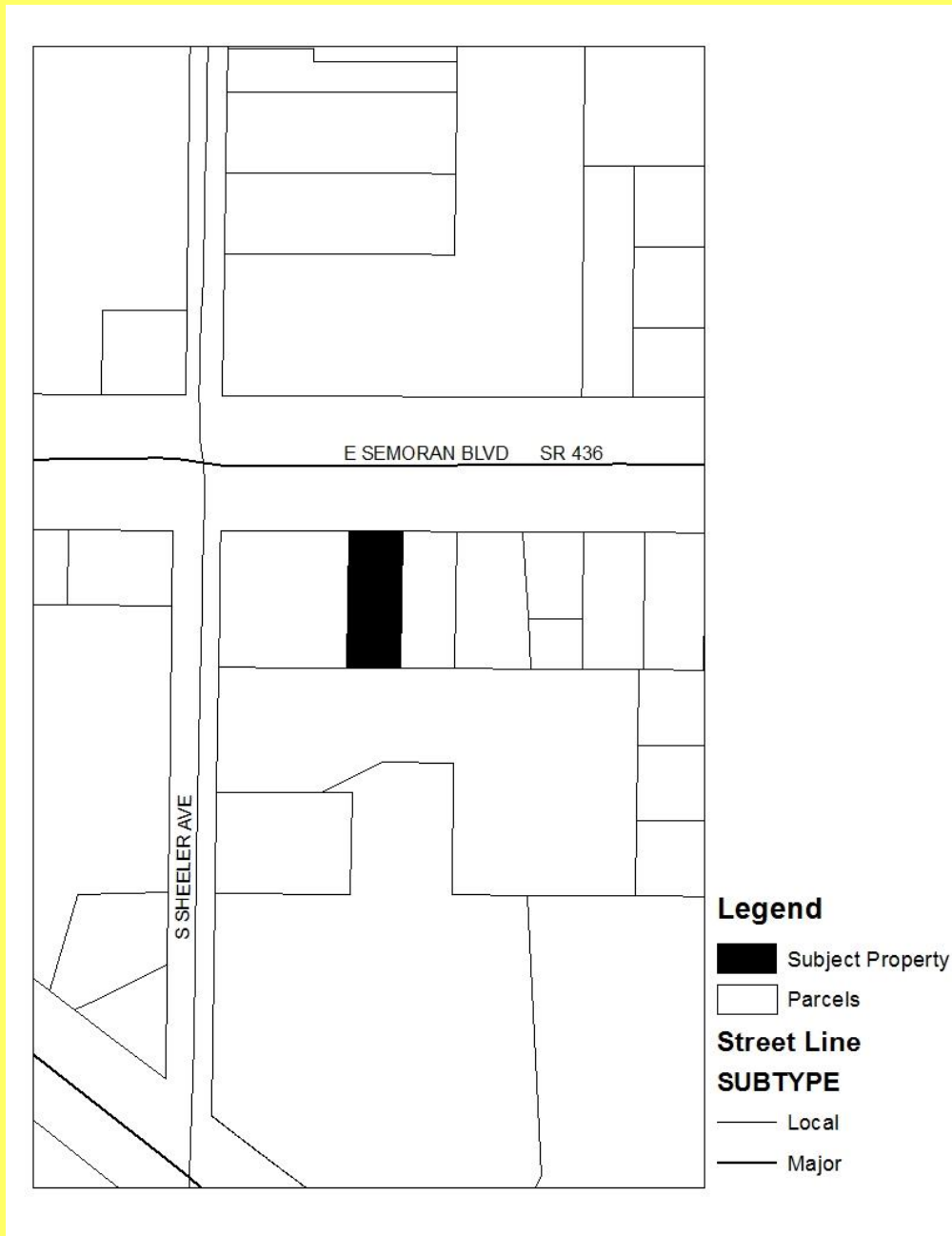
16. Animal clinics for the treatment of small animals, excluding farm animals, but including those animals no larger than a dog, commonly kept as pets in a residence, provided the care, treatment or housing of such animals shall not be allowed on the outside.

17. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.



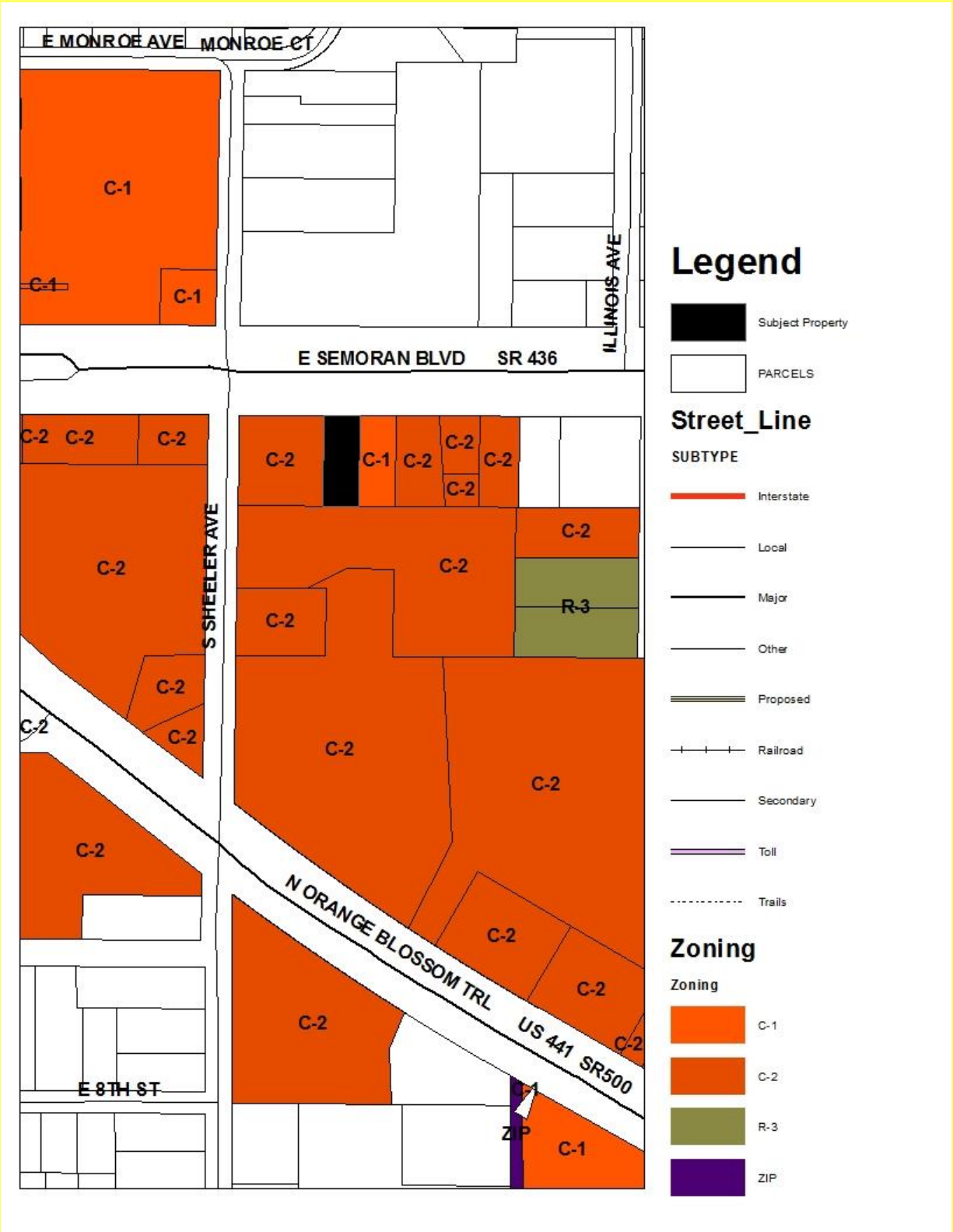
SunTrust Bank
0.37 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Commercial
To: "City" Commercial
Proposed Change of Zoning:
From: "County" R-2
To: "City" C-1
Parcel ID #: 11-21-28-0750-00-050

VICINITY MAP

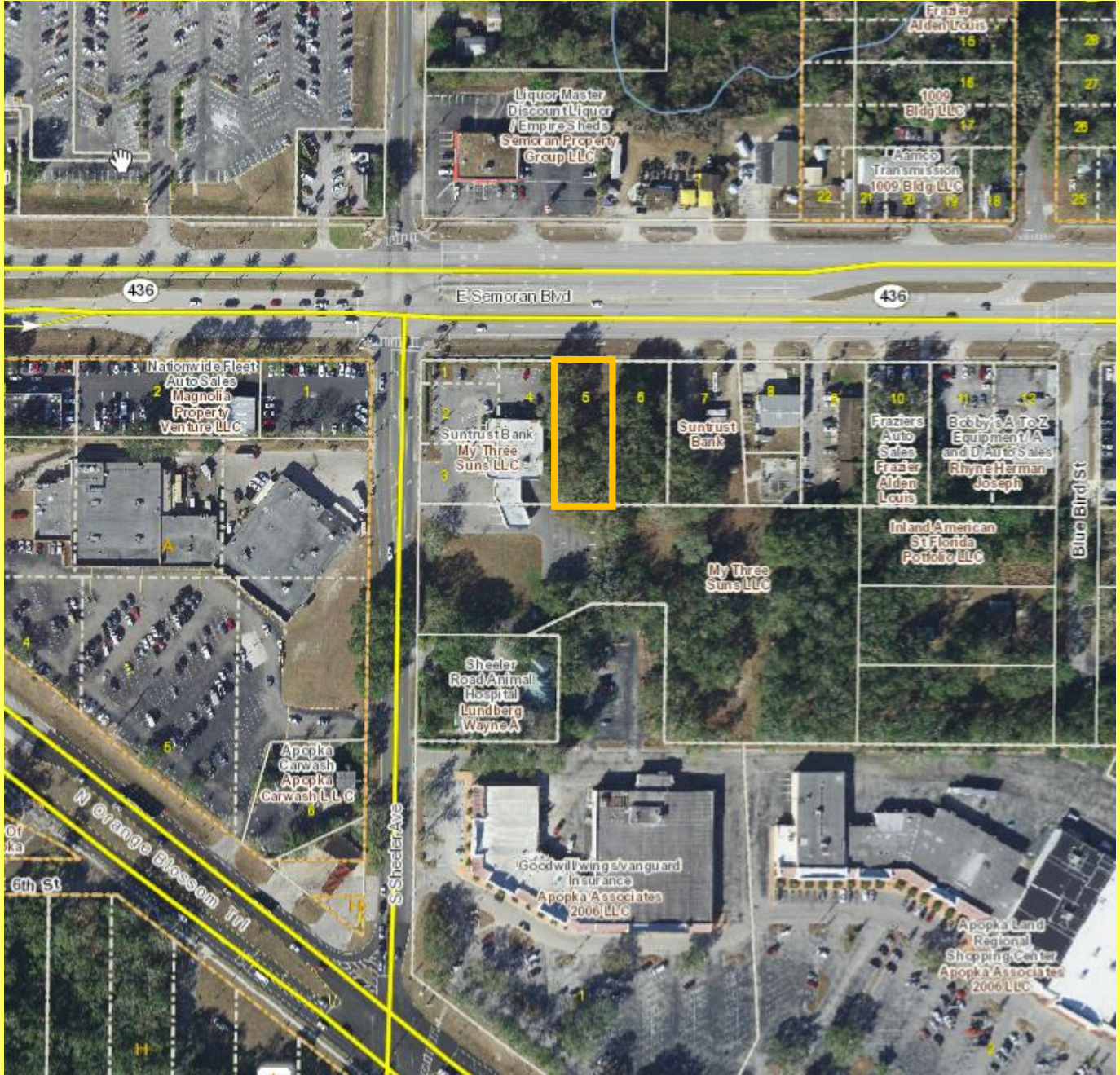


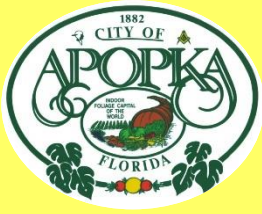


ADJACENT ZONING MAP



AERIAL MAP





CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Variance

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Site Plan
Site Pictures

SUBJECT: VARIANCE - NILSA GONZALEZ- 301 MCCOY VILLAGE COURT

REQUEST: APPROVAL OF A VARIANCE OF THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE VII, SECTION 7.01.08 (H) TO ALLOW A CORNER LOT FENCE CLOSER TO THE PROPERTY LINE THAN THE REQUIRED 25 FEET.

SUMMARY:

OWNER: Nilsa Gonzalez
LOCATION: 301 McCoy Village Court
LAND USE: Residential Medium (0-10 du/ac)
ZONING: R-3
EXISTING USE: Single Family Residence – one home site
PROPOSED USE: Single Family Residence – one home site
VARIANCE REQUEST: The applicant requests a variance to allow a fence to be located approximately five feet from the property line. On a corner lot, such as this, twenty five feet is required between the fence and the property line.
TRACT SIZE: 0.12 +/- acre

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

APPLICABLE CITY CODE:

7.01.08 Fences (shall include walls)

- H. Fences may be permitted in any residential or office district; provided, that no fence or wall shall be erected or maintained within 25 feet from the property line on a corner intersection of street right-of-way. Fences or walls erected beyond the front building line shall be limited to a maximum height of four feet. A fence or wall shall be limited to a maximum height of eight feet in the rear and side yards.

LIMITATIONS GRANTING VARIANCES:

- A. *Initial determination.* The zoning board of appeals shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved. If so, the zoning board of appeals shall make the following required findings based on the granting of the variance for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the zoning board of appeals shall make the required findings based on the cumulative effect of granting the variance to all who may apply.

Under no circumstances shall the zoning board of appeals grant a variance to permit a use not generally or by special exception permitted in this code or any use expressly or by implication prohibited by the terms of this code. Further, under no circumstance shall the zoning board of appeals offer or accept any negotiation to grant a variance in exchange for any other land use alterations on the affected parcel or any other parcel of land.

No nonconforming use of neighboring lands, structures or buildings in other zoning districts shall be considered grounds for the authorization of the variance.

Staff Response: The Lake McCoy Oaks Plat was recorded in September 1992, before the current Land Development Code was adopted and became effective. The lot width, lot area, and setbacks and yard requirements for the current LDC create conflicts with the plat established prior to the LDC's adoption in 1993.

APPLICANT'S RESPONSE TO SEVEN VARIANCE CRITERIA:

- B. *Required findings.* The zoning board of appeals shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:
1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant Response: Garbage thrown on my property. Residents allowing pets to eliminate on my property. People walking through my property.

Staff Response: The absence of a fence is allowing passerbys to devalue the property and overall neighborhood aesthetics. The placement of the house, and width of the lot make it impossible for the applicant to adhere to a 25 feet setback.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: The request for a fence will not reduce cost to develop a site.

Staff Response: The site is already developed. It is a subdivision parcel with a home built in 1993.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: Congestion will not be increased, as this is a dead end. No thru traffic.

Staff Response: A proposed fence will not increase congestion on a dead end street.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: Request will not diminish property values nor will it alter the character of the surrounding area.

Staff Response: The fence may prevent the previously discussed passerbys from leaving refuse on the property owner's side lawn.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The proposed variance is in harmony with the general intent of the code.

Staff Response: The proposed fence meets all other stipulations in the City's Land Development Code.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: My request is not due to my actions.

Staff Response: The property owner was not responsible for building the home with a 13 feet side setback.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: Will not create a safety hazard or a detriment to the public. Currently, the property opposite my home is surrounded by a six foot brick wall.

Staff Response: The proposed variance will be adequate for accommodating a side yard fence. While this is a corner lot at the entrance of the subdivision, the Development Review Committee has determined that the fence will not create an issue with visibility and public safety.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 p.m.)

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Commission has authority to take final action. Approve, deny, or approve with conditions.

Pursuant to the Land Development Code, Article XI - 11.05.00.A. - The Planning Commission has been established as a citizen board to review and approve variances. Conditions may be established by the Planning Commission to reduce the impacts of the effects of the variance.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



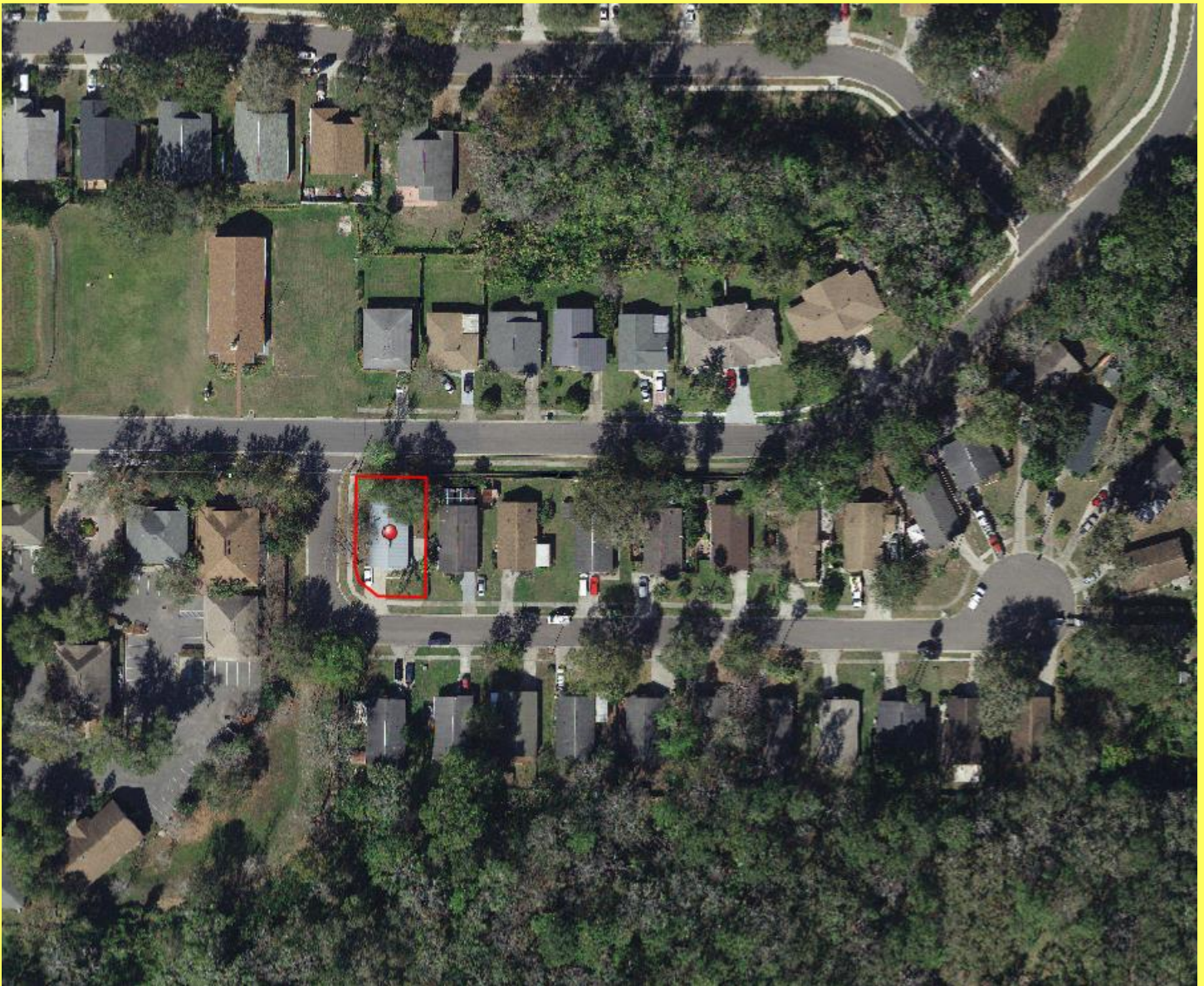
Nilsa Gonzalez
301 McCoy Village Ct.
0.12 +/- Acre
Parcel ID #: 03-21-28-4671-00-010

VICINITY MAP





AERIAL MAP

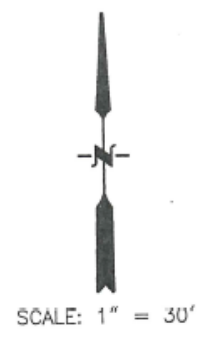
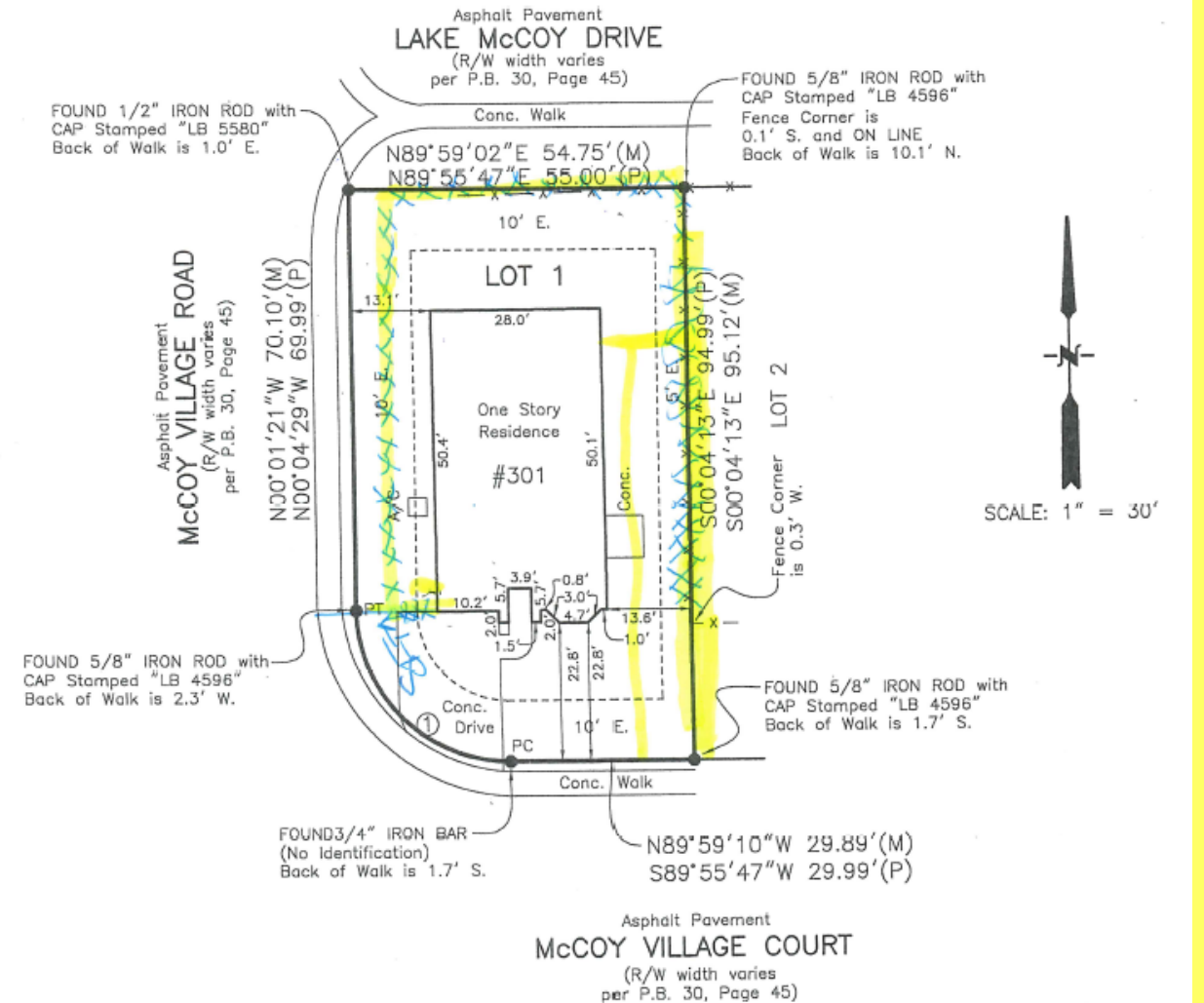


SITE PLAN

PLAT OF BOUNDARY SURVEY

DESCRIPTION (As Furnished)

LOT 1, REPLAT OF TRACT 4 LAKE McCOY OAKS, according to the plat thereof as recorded in Plat Book 30, Page 45 of the Public Records of Orange County, Florida.



①
 $\Delta = 89^{\circ}59'01''(P)$
 $R = 25.00'(P)$
 $L = 39.26'(P)$
 $CB = S 45^{\circ}04'32'' E(C)$
 $Chd = 35.36'(C)$
 $S44^{\circ}56'54'' E 35.32'(M)$

Site Pictures



The back of my property







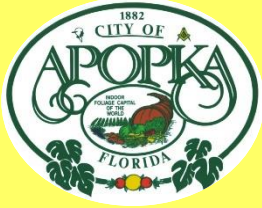












CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Variance

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Site Plan
Application

SUBJECT: VARIANCE - LEROME ANTIONE GRANGER - 2173 HUNLEY AVENUE

REQUEST: APPROVE A VARIANCE OF THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE II, SECTION 7.01.07(A), TO ALLOW FOR A SWIMMING POOL TO ENCROACH WITHIN THE SIDE YARD SETBACK AT 2173 HUNLEY AVENUE.

SUMMARY:

OWNER: Lerome Antione Granger
LOCATION: 2173 Hunley Avenue
PARCEL ID #: 20-21-28-2522-01-980
FUTURE LAND USE: Single Family Residential
ZONING: Mixed-EC (Employment Center)
EXISTING USE: Single Family Residential
TRACT SIZE: 0.16 +/- Acre

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

VARIANCE REQUEST SUMMARY: Applicant is requesting a variance from Section 7.01.07(A) – Swimming and wading pools and hot tubs, spas, and appurtenances thereto, including, but not limited to, pool decks or outside shell if no deck exists, security fences, screen enclosures without permanent roofs, and pumps, shall not be located within a required front or side yard, within five feet of any rear property line, or within any easement.

- *Applicant Request* - Allow swimming pool to encroach within required side setback.

VARIANCE PROCESS: Per Land Development Code Section 10.02.00, the Planning Commission must follow two steps to approve a variance:

Step 1: Section 10.02.02.A, Limitations on Granting Variances. The Planning Commission “shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” This is known as a physical hardship. If the Planning Commission makes this determination, then it must take action on the seven variance criteria set forth in Section 10.02.02.B.

Step 2: Section 10.02.02.B, Required Findings. Once a “physical hardship” has been determined, the Planning Commission shall not vary from the requirements of any provision of the LDC unless it makes a positive finding, based on substantial competent evidence, on the seven variance criteria.

APPLICABLE CITY CODES:

1. Section 7.01.07(A) – Swimming and wading pools and hot tubs, spas, and appurtenances thereto, including, but not limited to, pool decks or outside shell if no deck exists, security fences, screen enclosures without permanent roofs, and pumps, shall not be located within a required front or side yard, within five feet of any rear property line, or within any easement. Setbacks shall be measured from the edge of the deck or from the rim if it is an aboveground pool.

Variance Hardship Determination (Step 1): The first step of the variance determination process is to determine if a hardship occurs pursuant to Section 10.02.02.A, “whether the need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.”

Staff’s Response: The Emerson Park community was platted according to the requirements and standards set forth in the current Land Development Code. Based on the shape of the lot, it exists as a rectangular lot with corners at 90 degree angles. The lot is only 55-feet wide. The house and the lot were in place at the time the property owner purchased the property.

Seven Variance Criteria Findings (Step 2): If the Planning Commission accepts the hardship in Paragraph A. above, the second step is to make a finding on the seven criteria below. The Planning Commission must make a positive finding, based on substantial competent evidence, on each of the following seven criteria:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant’s Response: 7.01.07(A) states that swimming pools "shall not be located within a required front or side yard, within five feet of any property line, or within any easement." The shape of my home makes it seem as though I am proposing to place a swimming pool on the side of my home. The pool will technically be placed in the rear yard, but it would extend beyond the wall of the home. In addition, my home is

surrounded by a privacy fence. Please see Picture A-1. The blue section shows the approved area for the pool which has been drawn over the concrete driveway, etc. The red outline shows my proposed pool. Please see Picture A-2 which displays a picture of the back yard. A concrete driveway is located on the other side of the left side of the fence, which would make it impossible to build a pool according to the blue section outline in Picture A-1.

Staff's Response: The rear yard is defined per Land Development Code Section 1.08.13 as yard extending across the rear of a lot between the side lot lines and being a minimum horizontal distance between the rear lot line and the principal building or any projections thereof. And side yard is defined as a yard between the main building and the side line of the lot, and extending from the front lot line to the rear yard, and being the minimum horizontal distance between a side lot line and the side of the main buildings or any projections thereof. Refer to Diagram A showing rear and side yard setbacks on this lot as defined by the Land Development Code.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: There is no reduction in the cost of the pool by receiving the approval of the variance.

Staff's Response: No objection.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: The proposed pool will be for our private use and will be enclosed with a privacy fence.

Staff's Response: No objection.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: Swimming pools often increase property values by approximately 7%. There are a few pools in the neighborhood. In addition, the pool will be enclosed with a privacy fence.

Staff's Response: City staff does not hold professional expertise to address property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: I believe that the proposed variance is in harmony with the general intent of the code in that the pool will be located towards the back of my home and it will be enclosed with a privacy fence.

Staff Response: Section 7.01.07(A) of the Land Development states that swimming pools shall not be located within a required side yard. It is the position of Staff that the proposed pool location does not meet the intent of the Code regarding swimming pools. Therefore, Staff does not support this variance request.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: I have not changed the plot layout or the outside of the home to produce a special circumstance.

Staff Response: Lots within Emerson Park with 55' lot widths were not intended to have swimming pools due to spatial constraints posed by lot sizes. A club house and community pool area is accessible to all residents of the community.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: The proposed pool will be built to Code and will be enclosed with a privacy fence.

Staff Response: No objection.

RECOMMENDATION ACTION:

Planning Staff: has not received or identified sufficient substantially competent information to determine that a hardship exists.

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Planning Commission has authority to take final action. Approve, deny, or approve with conditions.

If Planning Commission approves the Variance, the following language is recommended:

Approve a variance from Section 7.01.07(A), Land Development Code, to allow a swimming pool to encroach within the required side yard but shall no portion of the pool or its associated deck shall be placed closer than seventy (70’) feet from the front lot line, and a six foot high fence shall screen the pool from Hunley Avenue and Shackley Place and abutting lots.

Planning Commission Role: Planning Commission has the authority to approve, deny, or approve with conditions the requested variance.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Owner: Little Brownie Properties Inc. c/o Peter Wood (President)
Applicant: Stephen Allen, P.E.
Parcel I.D. No: 15-21-28-3960-00-010
Location: 1350 Sheeler Avenue
Total Acres: 21.15 +/- Acres

VICINITY MAP

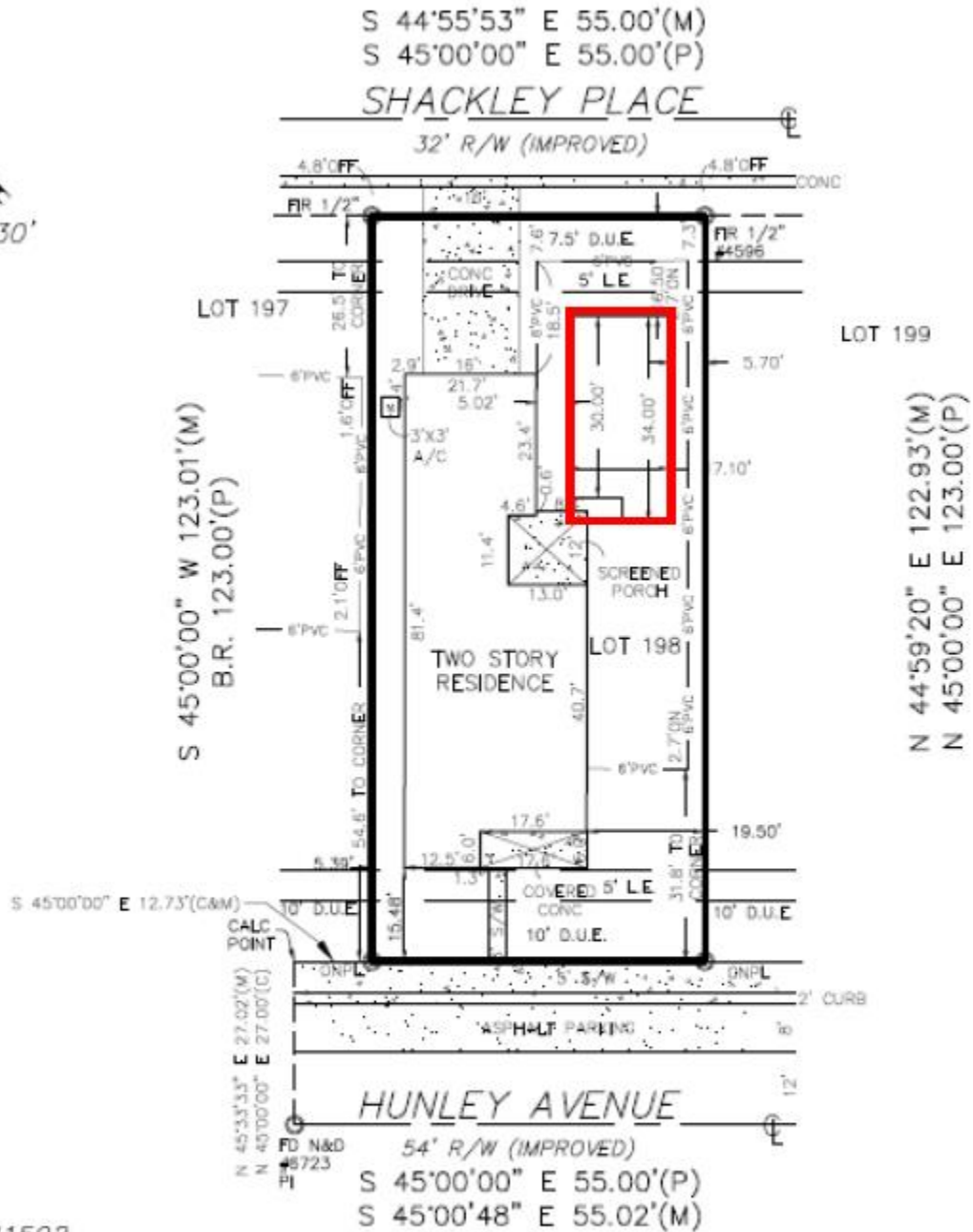


AERIAL MAP



SITE PLAN


 SCALE: 1"=30'



SURVEY NO.141592



City of Apopka
 Community Development Department
 120 E. Main Street, 2nd Floor, Apopka, Florida 32703
 407-703-1739 - Phone -- 407-703-1791 - Fax

- FOR OFFICIAL USE ONLY -	
DATE SUBMITTED:	4-9-18
FEE PAID: \$	150.00
CHECK #:	684
RECEIPT #:	96222

APPLICATION FOR VARIANCE

PUBLIC HEARING	
Check Applicable Request	
<input checked="" type="checkbox"/>	Variance
<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Other



Owner(s) Information					
Name:	Lerome A. Granger				
Street Address:	2173 Hunley Avenue				
City:	Apopka	State:	FL	Zip:	32703
Phone:	321-438-6831	Fax:		E-mail:	lerome@grangerconstruction.net
Petitioner Information					
Name:	Lerome A. Granger				
Street Address:	2173 Hunley Ave				
City:	Apopka	State:	FL	Zip:	32703
Phone:	321-438-6831	Fax:		E-mail:	lerome@grangerconstruction.net
Property Information					
Parcel I.D. #(s):	20-21-28-2522-01-980				
Existing Land Use:	0100-Single Family	Existing Zoning:	Mixed-EC		
Existing Use:	Single Family Residence	Proposed Use:	Single Family Residence		
Legal Description:	Emerson Park 68/1 LOT 198				
Identify Abutting Roads:	Shackley Place and Sunbow Avenue				
Size (acres):	.16 acres	Number of Lots:	1		

VAR18-04

ADJACENT PROPERTY:					
Direction	Jurisdiction Circle One		Land Use	Zoning	Present Use
	City	County			
North	City	County	0100 Single Family	mixed EC	Single Family residence
	City	County	0100 Single Family	mixed EC	Single Family residence
East	City	County	0100 Single Family	mixed EC	Single Family residence
	City	County	0100 Single Family	mixed EC	Single Family residence
South	City	County	0100 Single Family	mixed EC	Single Family residence
	City	County	0100 Single Family	mixed EC	Single Family residence
West	City	County	0100 Single Family	mixed EC	Single Family residence
	City	County	0100 Single Family	mixed EC	Single Family residence
Date of last request for Public Hearing before the Planning Commission:				n/a	
Action Requested:		n/a			
Action Taken:		n/a			
TYPE OF VARIANCE OR REQUEST:					
This is a request for:		This is a request to build a 16'x30' inground pool with no cage/screen in the back yard for exercise.			
As set forth in the Land Development Code, Section(s):			10.02.00 and 7.01.07		
Hardship Determination:		Provide writted response to the seven criteria provided			
Additional Information:					

OWNER(S) NAME: Lerome A. Granger

CERTIFICATION AND SIGNATURE

The owner(s) of the property **MUST** provide proof of ownership by deed or by submitting a letter of authorization (power of attorney) with deed attached if the application is submitted by any applicant other than the owner.

OWNER'S AUTHORIZATION IS REQUIRED AT THE TIME APPLICATION IS SUBMITTED. THIS IS A REQUIREMENT BY THE PLANNING COMMISSION.

I/We hereby certify that, to the best of my (our) knowledge and belief, all information contained herein and all information supplied with this application is true and accurate.

I/We, the undersigned owner(s) for the Planning Commission action on the above described property in the City of Apopka, Florida, do hereby agree to Indemnify and Hold Harmless the City of Apopka, Florida, its elected officials, officers, agents, and assigns for any and all damages, attorney fees and costs incurred by said City in any instance in which the City must expend funds and/or defend its decisions regarding the granting of the above referenced application.

By: [Signature]
Owner(s) of Record (Signature)

By: _____
Owner(s) of Record (Signature)

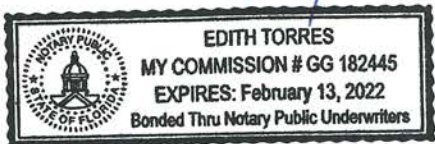
STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me on this 9 day of April, 2018, by Lerome Antione Granger who is personally known to me or has produced DL # G 652-521-71-215-0 as Identification and who did / did not (circle one) take an oath.

[Signature]
Notary Public (Signature)

My Commission Expires: 2/13/2022

Edith Torres
Notary Public (Print Name)



OWNER(S) NAME: Lerome A. Granger

APPLICATION FEES		
Variance:	Single Family Lot	\$150.00
	All other	\$300.00
Appeal to the City Council:		\$150.00

GENERAL INFORMATION	
1.	Submittal deadline, first working day of each month.
2.	This Petition requires a Public Hearing.
3.	Public Hearing procedures as set forth in the Apopka Municipal Code shall be followed.
4.	No portion of the submittal fee will be refunded after petition has been submitted.
5.	The applicant, or a representative, must be present at the public hearing. The Planning Commission, at its discretion, may defer action or take decisive action on any application. If you are not present, the Planning Commission <u>MAY</u> deny your request.
6.	No permit shall be issued on this request until thirty (30) days after approval by the Planning Commission, and then <u>only</u> if no appeal has been made to the City Council.
7.	Appeals from the decision of the Planning Commission may be made to the City Council within thirty (30) days from the date of that decision. Any aggrieved party may appeal.
8.	Costs incurred in addition to established fees for advertising, City Attorney, postage or consultant expenses must be paid to the City.

ITEMS REQUIRED FOR SUBMITTAL	
1.	An application for public hearing must be accompanied by the filing fee. ✓
2.	Completed typed hold harmless agreement and notarized signature of all owners of record. ✓
3.	Legal Title opinion or certification as to Fee Simple Title Owner(s). ✓
4.	Current Survey of subject property with Legal Description and Vicinity Map. ✓
5.	One typed list of property owners who own property within 300' of the subject property. Include their name, address, and property identification number from the latest County tax assessment roll, with County tax map identifying property (format provided by City). ✓
6.	Written response to hardship criteria listed in Attachment "A."
7.	If Applicant is not the owner of record of the subject property, a Power of Attorney shall be submitted with application. n/a ✓
8.	Any additional information which may be useful to or required by the City. n/a ✓

CHILL

Prepared By:
Network Closing Services, Inc.
7651A Ashley Park Ct., Ste. 401
Orlando, FL 32835
incidental to the issuance of a title insurance policy.
File Number: 14-946

Parcel ID #: 20-21-28-2522-01980

WARRANTY DEED
(INDIVIDUAL)

This WARRANTY DEED, dated July 17, 2014 by David C. Curry, a single man, whose post office address is 807 Red Ash Court, Seffner, FL 33584 hereinafter called the GRANTOR, to Lerome Antione Granger, a married man, whose post office address is 2173 Hunley Avenue, Apopka, FL. 32703 hereinafter called the GRANTEE:
(Wherever used herein the terms "Grantor" and "Grantee" shall include all parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH: That the GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE, all that certain land situate in Orange County, Florida, viz:

Lot 198, EMERESON PARK, according to the plat thereof, as recorded in Plat Book 68, Page(s) 1 through 17, of the Public Records of Orange County, Florida.

SUBJECT TO covenants, conditions, restrictions, reservations, limitations, easements and agreements of record, if any; taxes and assessments for the year "2014" and subsequent years; and to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any.


TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

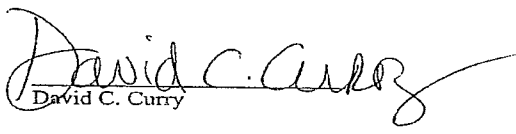
TO HAVE AND TO HOLD, the same in fee simple forever.

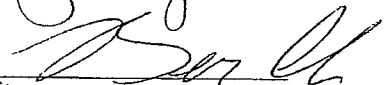
AND THE GRANTOR hereby covenants with said GRANTEE that except as above noted, the GRANTOR is lawfully seized of said land in fee simple; that the GRANTOR has good, right and lawful authority to sell and convey said land; that the GRANTOR hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, GRANTOR has signed and sealed these presents the date set forth above.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES:


Witness
Printed Name: Regina Jensen

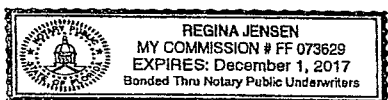

David C. Curry

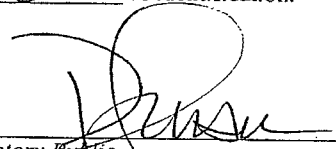

Witness
Printed Name: Ben Cork

STATE OF FLORIDA
COUNTY OF Orange

The foregoing instrument was signed and acknowledged before me this 17 day of July, 2014, by David C. Curry, a single man, who () is personally known to me or (X) has produced FLDC as identification.

(SEAL)




Notary Public
My Commission Expires: 12-1-17

SWERDLOFF & PERRY

SURVEYING, INC.

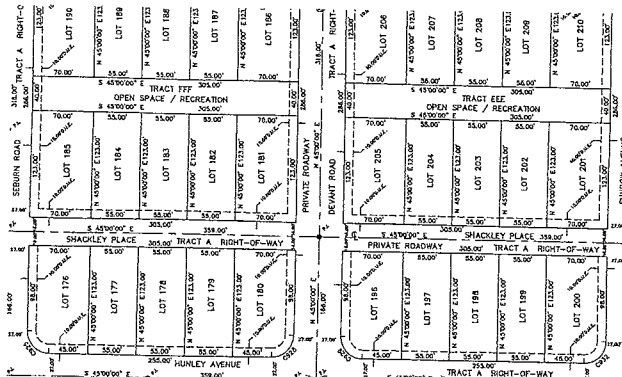
370 Waymont Court • Lake Mary, FL 32746 • Voice 407.688.7631 • Fax 407.688.7691 • sandpsurveying@gmail.com

Legal Description

Lot 198, EMERSON PARK, according to the plat thereof, as recorded in Plat Book 68, Page(s) 1 through 17, of the Public Records of Orange County, FL.

Community number: 120180 Panel: 0120
 Suffix: F.F.I.R.M. Date: 9/25/2009 Flood Zone: X
 Date of field work: 7/9/2014 Completion Date: 7/9/2014

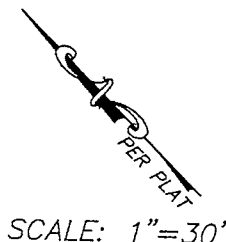
Certified to:
 Lerome Granger; Network Closing Services, Inc.; Chicago Title Insurance Company; American Financial Resources, Inc., its successors and/or assigns.



S 44°55'53" E 55.00'(M)
 S 45°00'00" E 55.00'(P)

SHACKLEY PLACE

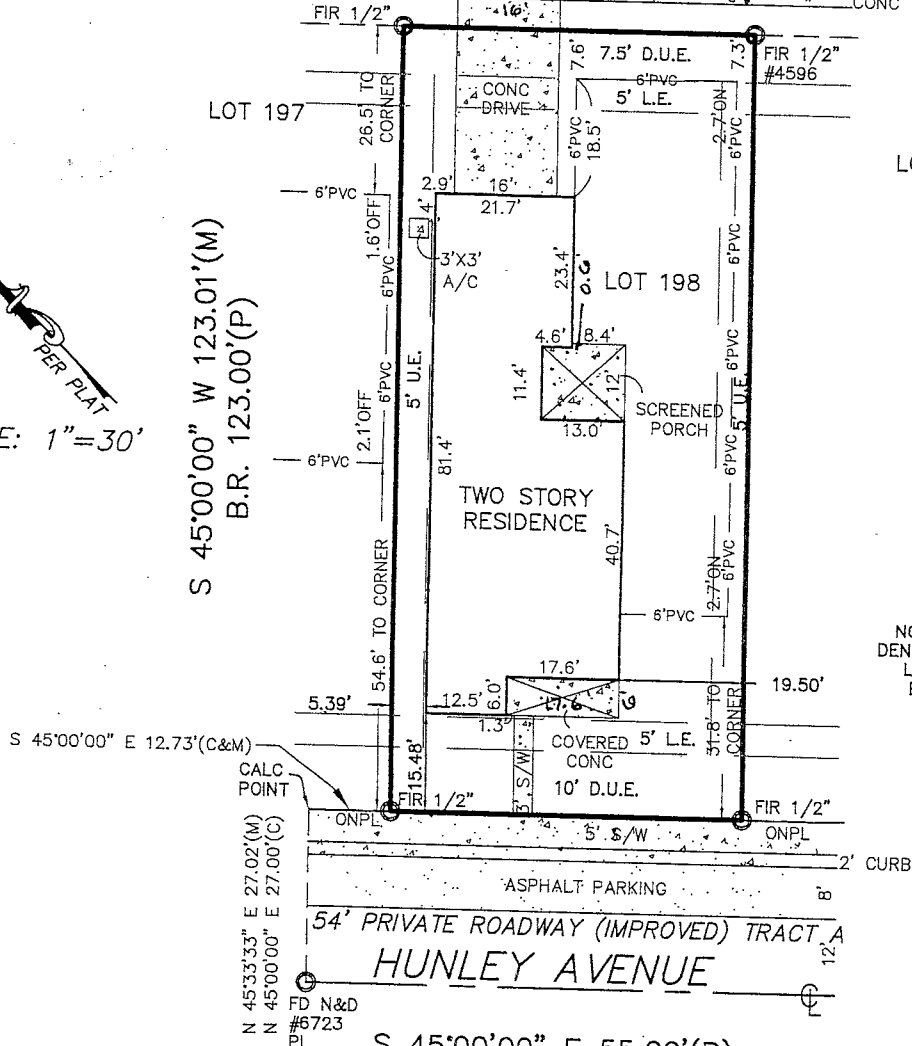
32' PRIVATE ROADWAY (IMPROVED) TRACT A
 4.8' OFF CONCR



S 45°00'00" W 123.01'(M)
 B.R. 123.00'(P)

LOT 199
 N 44°59'20" E 122.93'(M)
 N 45°00'00" E 123.00'(P)

NOTE: 5' L.E. DENOTES 5 FOOT LANDSCAPE EASEMENT



S 45°00'00" E 55.00'(P)
 S 45°00'48" E 55.02'(M)

Property Address:
 2173 Hunley Avenue
 Apopka, FL 32703

Survey number: SL 141592

LEGEND

— 4' CLF —	4' Chain Link Fence	C.M.	Concrete Monument	O.R.B.	Official Records Book
— 6' CLF —	6' Chain Link Fence	D.	Description or Deed	PG.	Page
— 4' PVC —	4' PVC Fence	D.B.	Deed Book	PVMT.	Pavement
— 6' PVC —	6' PVC Fence	D.E.	Drainage Easement	P.C.P.	Permanent Control Point
— 4' WF —	4' Wood Fence	D.H.	Drill Hole	P.R.M.	Permanent Reference Monument
— 6' WF —	6' Wood Fence	D.U.E.	Drainage & Utility Easement	P.	Plat
— OHU —	Overhead Utilities	D/W	Driveway	P.B.	Plat Book
⊕ P.P.	Power Pole	ESMT	Easement	P.O.B.	Point of Beginning
⊕ W.M.	Water Meter	E.O.P.	Edge of Pavement	P.O.C.	Point of Commencement
▨	Asphalt	E.O.W.	Edge of Water	P.C.C.	Point of Compound Curve
▩	Block Wall	ENCR	Encroachment	P.C.	Point of Curvature
▧	Brick	XX.XX'	Existing Elevation	P.I.	Point of Intersection
— C —	Centerline	F	Field	P.R.C.	Point of Reverse Curvature
△	Central Angle/Delta	FD	Found	R.T.	Point of Tangency
▭	Concrete	FD N&D	Found Nail & Disk	P.O.L.	Point on Line
▭	Covered Area	F.C.M.	Found Concrete Monument	Rad	Radius (Radial)
— L —	Line Break Not to Scale	F.I.P.	Found Iron Pipe	R.	Record
A/C	Air Conditioning	F.I.R.	Found Iron Rod	R/W	Right of Way
B.R.	Bearing Reference	L	Length	S.I.R.	Set Iron Rod & Cap
B.M.	Bench Mark	L.B.	Licensed Business	S/W	Sidewalk
CATV	Cable Riser	M	Field Measured	TEL.	Telephone Facilities
C	Calculated	M.H.	Manhole	T.O.B.	Top of Bank
C.L.F.	Chain Link Fence	N&D	Nail & Disk	TX	Transformer
CH	Chord	N.R.	Non Radial	TYP.	Typical
C.B.	Chord Bearing	N.T.S.	Not to Scale	U.E.	Utility Easement
CONC.	Concrete	O.R.	Official Records	W.C.	Witness Corner

GENERAL NOTES

- Legal description provided by others.
- The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the plat.
- Underground portions of footings, foundations or other improvements were not located.
- Wall ties are to the face of the wall.
- Only visible encroachments located.
- No identification found on property corners unless noted.
- Dimensions shown are plat and measured unless otherwise noted.
- This is a **BOUNDARY SURVEY** unless otherwise noted.
- Not valid unless sealed with the signing surveyors embossed seal.
- Where plat or deed bearing is identical to measured, this shall serve as the basis of bearings, unless noted otherwise.
- All lines are not radial unless otherwise noted.
- Recertification does not indicate an update.
- Unless otherwise noted, flood zone information provided by others.
- Septic tank and/or drainfield locations are approximate and **MUST** be verified by appropriate utility location companies.
- The closure of structures may not be precise due to imperfections and decorative items.
- Pools and/or patios may be drawn as an approximation and not fully dimensioned due to irregular shape.
- The nature, extent or existence of riparian rights is not addressed hereon.
- Survey is for **reference** only unless signed and sealed by a Florida Registered Land Surveyor.
- This survey meets all applicable accuracy requirements.
- This survey is in accordance with the Minimum Technical Standards promulgated by the Florida Board of Professional Land Surveyors, 5J-17, of the Florida Administrative Code, Section 473.027, Florida Statutes.

I hereby certify that this survey is a true and correct representation of a survey prepared under my direction.

NOTES

RECEIPT

DATE 4-9-18

NO. 096222

RECEIVED FROM Lerome A. Granger

ADDRESS One hundred fifty dollars

Lerome A. Granger - Variance \$ 150.00

FOR 2173 Hunley Avenue

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	
AMT. PAID	<u>150.00</u>	CHECK	<u>684</u>
BALANCE DUE		MONEY ORDER	

BY Edith Jms

©2001 REDIFON® 01800

LEROME A. GRANGER
2173 HUNLEY AVENUE
APOPKA, FL 32703
321-438-6831

684

63-751/631 11115
1010213437954

04/09/18

DATE

PAY TO THE ORDER OF CITY OF APOPKA \$ 150.00

ONE HUNDRED FIFTY ~~00~~ DOLLARS



WELLS FARGO Wells Fargo Bank, N.A.
Florida
wellsfargo.com

FOR 2173 HUNLEY AVE

⑆063107513⑆1010213437954⑆00684

ATTACHMENT "A"

- 1. There are practical difficulties in carrying out the strict letter or the regulation in that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.**

7.01.07(A) states that swimming pools "shall not be located within a required front or side yard, within five feet of any rear property line, or within any easement." The shape of my home makes it seem as though I am proposing to place a swimming pool on the side of my home. The pool will technically be placed in the rear yard, but it would extend beyond the wall of the home. In addition, my home is surrounded by a privacy fence. **Please see Picture A-1.** *The blue section shows the approved area for the pool which has been drawn over the concrete driveway, etc. The red outline shows my proposed pool. Please see Picture A-2* which displays a picture of the back yard. *A concrete driveway is located on the other side of the left side of the fence, which would make it impossible to build a pool according to the blue section outlined in Picture A-1.*

- 2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.**

There is no reduction in the cost of the pool by receiving the approval of the variance.

- 3. The proposed variance will not substantially increase congestion on surrounding public streets.**

The proposed pool will be for our private use and will be enclosed with a privacy fence.

- 4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.**

Swimming pools often increase property values by approximately 7%. There are a few pools in the neighborhood. In addition, the pool will be enclosed with a privacy fence.

- 5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.**

I believe that the proposed variance is in harmony with the general intent of the code in that the pool will be located towards the back of my home and it will be enclosed with a privacy fence.

- 6. Special conditions and circumstances do not result from the actions of the applicant.**

I have not changed the plot layout or the outside of the home to produce a special condition/circumstance.

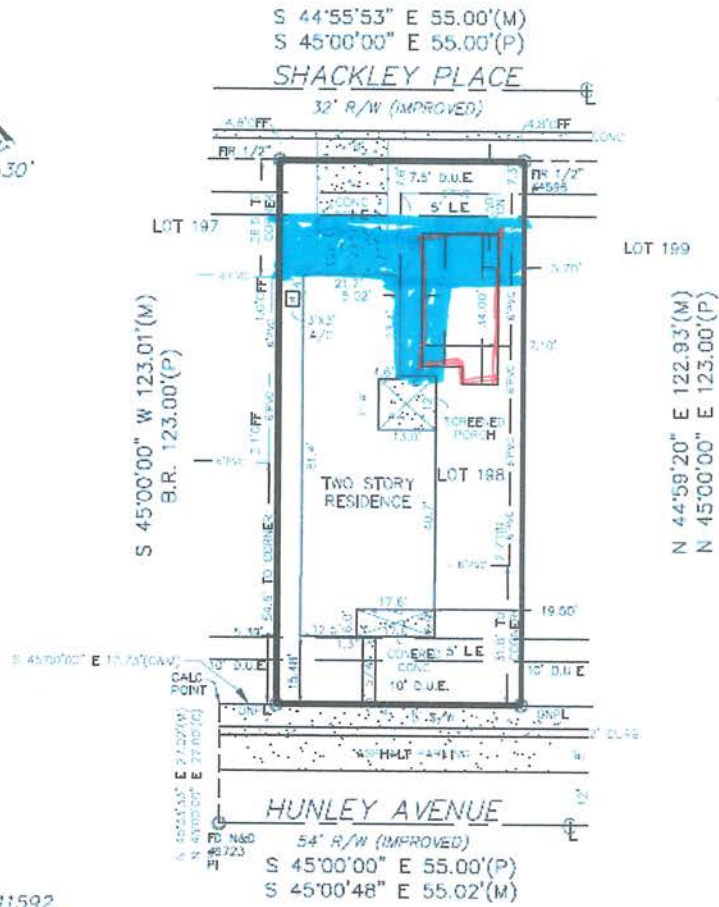
- 7. The variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.**

The proposed pool will be built to code and will be enclosed with a privacy fence.

List of Property Owners Who Own Property Within 300' of 2173 Hunley Avenue

	Owner's Name	Address	Subdivision	Lot	Parcel ID#
1	David and Diana Schorejs	2057 Sunbow Avenue Apopka, FL 32703	Emerson Park	19	20-21-28-2522-00-190
2	Anthony and Elena Chavers	2063 Sunbow Avenue Apopka, FL 32703	Emerson Park	20	20-21-28-2522-00-200
3	Joseph Thompson	2069 Sunbow Avenue Apopka, FL 32703	Emerson Park	21	20-21-28-2522-00-210
4	Carlos and Danielle Cruz	2075 Sunbow Avenue Apopka, FL 32703	Emerson Park	22	20-21-28-2522-00-220
5	Rajendra and Nalini Singh	2081 Sunbow Avenue Apopka, FL 32703	Emerson Park	23	20-21-28-2522-00-230
6	Wendy Goebel	2093 Sunbow Avenue Apopka, FL 32703	Emerson Park	24	20-21-28-2522-00-240
7	Donna Ramirez	2099 Sunbow Avenue Apopka, FL 32703	Emerson Park	25	20-21-28-2522-00-250
8	Albert and Mercinia Gray	2105 Sunbow Avenue Apopka, FL 32703	Emerson Park	26	20-21-28-2522-00-260
9	Kaley Price	2116 Sunbow Avenue Apopka, FL 32703	Emerson Park	41	20-21-28-2522-00-410
10	Ellis Joudain	2110 Sunbow Avenue Apopka, FL 32703	Emerson Park	42	20-21-28-2522-00-420
11	Oswaldo and Ashley Gonzalez, Hilda Irizarry	2104 Sunbow Avenue Apopka, FL 32703	Emerson Park	43	20-21-28-2522-00-430
12	Bojan Todorovic and Deanna Jett	2098 Sunbow Avenue Apopka, FL 32703	Emerson Park	44	20-21-28-2522-00-440
13	Julien and Jillian Prince	2092 Sunbow Avenue Apopka, FL 32703	Emerson Park	45	20-21-28-2522-00-450
14	Christopher and Kimberly Taylor	2186 Pinyon Rd Apopka, FL 32703	Emerson Park	46	20-21-28-2522-00-460
15	John and Marilyn Smith	2192 Pinyon Rd Apopka, FL 32703	Emerson Park	47	20-21-28-2522-00-470
16	Isemine and Luckner Gustave, Mathel Joseph	2198 Pinyon Rd Apopka, FL 32703	Emerson Park	48	20-21-28-2522-00-480
17	Gregory Boyd	2204 Pinyon Rd Apopka, FL 32703	Emerson Park	49	20-21-28-2522-00-490
18	Yobeska Perez and Carmen Navarro	2187 Pinyon Rd Apopka, FL 32703	Emerson Park	56	20-21-28-2522-00-560
19	Karen Peyton	2193 Pinyon Rd Apopka, FL 32703	Emerson Park	57	20-21-28-2522-00-570
20	Johnathan McGriff	2199 Pinyon Rd Apopka, FL 32703	Emerson Park	58	20-21-28-2522-00-580
21	Roy Belfast	2143 Hunley Avenue Apopka, FL 32703	Emerson Park	179	20-21-28-2522-01-790
22	David and Alison Harris	2149 Hunley Avenue Apopka, FL 32703	Emerson Park	180	20-21-28-2522-01-800
23	Curry and Shaunda O'Brien	2131 Shackley Place Apopka, FL 32703	Emerson Park	181	20-21-28-2522-01-810
24	Jeova Da Silva and Josiane Dias	2125 Shackley Place Apopka, FL 32703	Emerson Park	182	20-21-28-2522-01-820
25	Joseph Brown and Alison Floyd	2096 Cordaville Place Apopka, FL 32703	Emerson Park	186	20-21-28-2522-01-860
26	Jeffrey and Danielle Lairsey	2161 Hunley Avenue Apopka, FL 32703	Emerson Park	196	20-21-28-2522-01-960
27	Paul and Sandra Morgan	2167 Hunley Avenue Apopka, FL 32703	Emerson Park	197	20-21-28-2522-01-970
28	Ferlan and Paula Hew-Bailey	2179 Hunley Avenue Apopka, FL 32703	Emerson Park	199	20-21-28-2522-01-990
29	Jhon and Viergemene Siverne	2185 Hunley Avenue Apopka, FL 32703	Emerson Park	200	20-21-28-2522-02-000
30	Seta and Jaigopaul Jairam	2163 Shackley Place Apopka, FL 32703	Emerson Park	201	20-21-28-2522-02-010
31	Trevor Singh	2157 Shackley Place Apopka, FL 32703	Emerson Park	202	20-21-28-2522-02-020
32	Carmen Martinez	2151 Shackley Place Apopka, FL 32703	Emerson Park	203	20-21-28-2522-02-030
33	Martha and Juan Arevalo	2145 Shackley Place Apopka, FL 32703	Emerson Park	204	20-21-28-2522-02-040
34	Winston and Sharen Young	2139 Shackley Place Apopka, FL 32703	Emerson Park	205	20-21-28-2522-02-050
35	Marlin Harris and Antoinette Cummings	2102 Cordaville Place Apopka, FL 32703	Emerson Park	206	20-21-28-2522-02-060
36	Richard and Marjorie Wade	2108 Cordaville Place Apopka, FL 32703	Emerson Park	207	20-21-28-2522-02-070
37	Kimberly Davis	2114 Cordaville Place Apopka, FL 32703	Emerson Park	208	20-21-28-2522-02-080
38	Diana and Gilberto Ruiz	2120 Cordaville Place Apopka, FL 32703	Emerson Park	209	20-21-28-2522-02-090
39	Geydi Ramos	2126 Cordaville Place Apopka, FL 32703	Emerson Park	210	20-21-28-2522-02-100

Picture A-1



SURVEY NO. 141592

picture A-2





Map of 282120252203303 showing property boundaries and street names.



CITY OF APOPKA

**SURROUNDING OWNERS NAME AND ADDRESS
INSTRUCTIONS**

THE FOLLOWING INSTRUCTIONS ARE PROVIDED TO HELP APPLICANTS COMPLETE THE ATTACHED 300 FOOT TABLE AND OBTAIN THE SURROUNDING PROPERTY OWNERS NAMES AND ADDRESSES.

INSTRUCTIONS	
1.	Go to the Orange County Property Appraiser's Office and tell them you need to obtain owners information within the surrounding 300 feet* for which is change in zoning, a variance, a special exception, etc. is being requested. <u>OR</u> Visit them online at www.ocpafl.org to obtain the information yourself. ✓
2.	Provide OCPA the legal description, tax ID numbers, and/or boundary survey of the subject property to assist them in locating the appropriate tax map(s). ✓
3.	OCPA provides a computer so that you can access lot/parcel owner information as shown on their tax map(s).
4.	Complete the attached 300 Foot Table form with the surrounding property owner information obtained from OCPA. Include: NAME, ADDRESS, SUBDIVISION, LOT, AND TRACT/BLOCK (or parcel). ✓
NOTE: For the purpose of this requirement, "surrounding property owners" means all owners within 300 feet of the subject property lines of the land for which a proposed change is being sought; an further, owners land which lies outside the City limits only if those lands abut the applicant's parcel. ✓	
ITEMS TO BRING TO THE PROPERTY APPARISER'S OFFICE	
1.	Legal description (boundary survey if available).
2.	Property tax receipts.
3.	Several copies of the 300 Foot Table (attached)
4.	Ruler - May assist in measuring the 300 foot area.
5.	\$\$\$ - Applicable printing fees required by the tax office.
ORANGE COUNTY PROPERTY APPRAISER'S OFFICE LOCATION	
200 S. Orange Avenue (At the Corner of Church Street and Orange Avenue) SunTrust Building, 17th Floor Orlando, Florida 32801-3438 407-836-5044 (P) www.ocpafl.org	
VERIFICATION OF NAMES AND ADDRESSES	
1.	The Applicant, or designated representative, shall be responsible for obtaining the correct names and addresses of all surrounding property owners and notifying them. The names and addresses shall be those appearing on the most current tax rolls of Orange County, Florida. Complete notification requirements shall be in accordance with the City's Land Development Code, Article XII, Section 12.04.04. ✓
2.	Prior to notifying surrounding owners, please obtain a Public Hearing Schedule from the City's Community Development Department, which will provide further information and mailing instructions.
IF YOU HAVE ANY QUESTIONS CONCERNING THESE INSTRUCTIONS, PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 407-703-1739.	
CONTACT PERSON: David B. Moon, Planning Manager	

Rock Springs Estates Homeowners Association, Inc.
c/o Associa-Community Management Professionals, Inc.
4700 Millenia Blvd, Suite 515
Orlando, Florida 32839

ARCHITECTURAL CHANGE APPROVAL

March 5, 2018

P. Torres & D. Padilla
549 Keyhold Loop
Apopka, FL 32712

Property: 549 Keyhold Loop

Dear Homeowner:

Your request for an architectural change has been reviewed by the Architectural Control Committee. The Committee finds the additional improvement not specifically prohibited by the restrictive covenants and is, therefore, **Approved**.

Fence- Install

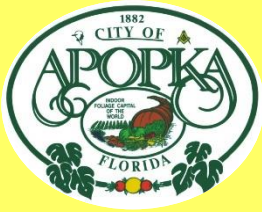
You are hereby advised that the approval of the Architectural Control Committee does not waive any provision of the restrictive covenants, any building code, and any ordinance, rule of law, or statute that may affect such improvement.

Thank you for your cooperation in submitting these plans to the Architectural Control Committee for review. If you have any questions or concerns, please **contact our office in writing via mail or email at info@community-mgmt.com or by fax at 407-903-9234.**

Sincerely,

Association Manager.
For the Architectural Control Committee

cc: Homeowner File



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Variance

MEETING OF: May 8, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Site Plan
 Site Pictures

SUBJECT: VARIANCE - PRISCILLA TORRES AND DANIEL PADILLA - 549 KEYHOLD LOOP

REQUEST: APPROVE A VARIANCE OF THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE VII, SECTION 7.01.08 (H) TO ALLOW A CORNER LOT FENCE CLOSER TO THE PROPERTY LINE THAN THE REQUIRED 25 FEET.

SUMMARY:

OWNER: Priscilla Torres/Daniel Padilla
 LOCATION: 549 Keyhold Loop
 LAND USE: Residential Low Suburban (0-3.5 du/ac)
 ZONING: R-1
 EXISTING USE: Single Family Residence – one home site
 PROPOSED USE: Single Family Residence – one home site
 VARIANCE REQUEST: The applicant requests a variance to allow a fence to be located approximately 17 feet from the property line. On a corner lot, such as this twenty five feet is required between the fence and the property line.
 TRACT SIZE: 0.33 +/- acre

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

APPLICABLE CITY CODE:

7.01.08 Fences (shall include walls)

- H. Fences may be permitted in any residential or office district; provided, that no fence or wall shall be erected or maintained within 25 feet from the property line on a corner intersection of street right-of-way. Fences or walls erected beyond the front building line shall be limited to a maximum height of four feet. A fence or wall shall be limited to a maximum height of eight feet in the rear and side yards.

LIMITATIONS GRANTING VARIANCES:

- A. *Initial determination.* The [Planning Commission] shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved. If so, the [Planning Commission] shall make the following required findings based on the granting of the variance for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the [Planning Commission] shall make the required findings based on the cumulative effect of granting the variance to all who may apply.

Under no circumstances shall the [Planning Commission] grant a variance to permit a use not generally or by special exception permitted in this code or any use expressly or by implication prohibited by the terms of this code. Further, under no circumstance shall the [Planning Commission] offer or accept any negotiation to grant a variance in exchange for any other land use alterations on the affected parcel or any other parcel of land.

No nonconforming use of neighboring lands, structures or buildings in other zoning districts shall be considered grounds for the authorization of the variance.

Staff Response: Staff has not identified or received any substantially competent information to demonstrate that a need for the variance arises out of the physical surrounding, shape, topographical condition, or other physical or environmental conditions that are unique to this corner lot. Corner lots similar to this occur throughout the City of Apopka.

APPLICANT’S RESPONSE TO SEVEN VARIANCE CRITERIA:

- B. *Required findings.* The [Planning Commission] shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:
1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant Response: The measurements requested for the proposed variance of our fence installation will not create any practical difficulties or break any regulations. Any smaller measurements will give an awkward and unbalanced look to our new home and to the specified corner. We have also requested a double door from Mossy Oak Fence (Mr. Terry Fox), on the corner side for easy entrance/exit of our lawnmower. Mr. Fox has all the exact measurements in our application showing that it will be fair for the land that we acquired in our purchase, but also fair to the Rock Springs Estates community and to the City of Apopka. I have photos to prove that there are no threats and no visibility issues for drivers turning to and from that corner. The corner is also not in an intersection. In the photos, the wooden stick with the orange flag next to the crape myrtles that we will be planting is the marking of where the fence will go.

Staff Response: Staff does not find a hardship for this variance application.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant's Response: This proposed variance is not based on the desire to reduce cost of development of this corner and property. It will actually increase its development value which will add presence and attractiveness to the property, the lot, the street and the residential complex of Rock Springs Estates.

Staff Response: The site is already developed. It is a subdivision parcel with a home built in 2017.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant's Response: The proposed variance will definitely not increase congestion on the surrounding public streets for it will not affect or alter any visibility or safety issues for drivers and pedestrians. The traffic pattern view for drivers driving to and from that corner will be clear and in compliance with all regulations.

Staff Response: A proposed fence will not increase congestion on this circular street.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant's Response: The proposed variance will most definitely not diminish property values, nor alter the essential character of the area surrounding site. On the contrary, it will add value for it will make the property more complete and attractive.

Staff Response: The proposed fence, in accordance with the home owner's association guidelines, will not diminish property values.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant's Response: The effect of the proposed variance is in harmony with the general intent of this code for the property has a larger lot than some of the other homes and it's also a corner home. The corner side is twice as large as the other side next to our neighbor. For that reason, the fence location requested on the corner side needs to be wider to balance out the look of the fence and the property. It will not alter the relevant subject area of the space. The proposed variance is only on the wider side of the property which is the corner side. The location of the fence will be in harmony with the spacing area.

Staff Response: The proposed fence meets all other stipulations in the City's Land Development Code.

Land Development Code, Section 7.01.08 Fences (Shall include walls), B. No fence or wall shall be erected in any district within an area at any corner street intersection that will obstruct visibility at the site [sight] distance line.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant's Response: Special conditions & circumstances do not result from our actions as applicants. One side of the property is 17 ½ feet and the corner side is 35 feet. This is why the proposed variance requested for the fence needs to be wider on the corner side due to their difference in sizes (See property blueprint provided).

Staff Response: The property owner was not responsible for building the home in its current placement.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant's Response: The variance granted is the minimum variance requested to have a sturdy 95 mph wind fence that not only meets the requirements of the county, but will allow reasonable use of the land in the community and in our property. The measurements requested in our application are precise and fair. It will add value and beauty to our property as well as to the surrounding homes around the neighborhood. In addition, it will provide privacy to our new property but will not create any safety hazards or other detriments to the public.

Staff Response: The proposed variance will be adequate for accommodating a side yard fence. While this is a corner lot at the entrance of the subdivision, the Development Review Committee has determined that the fence will not create an issue with visibility and public safety.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 p.m.)

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

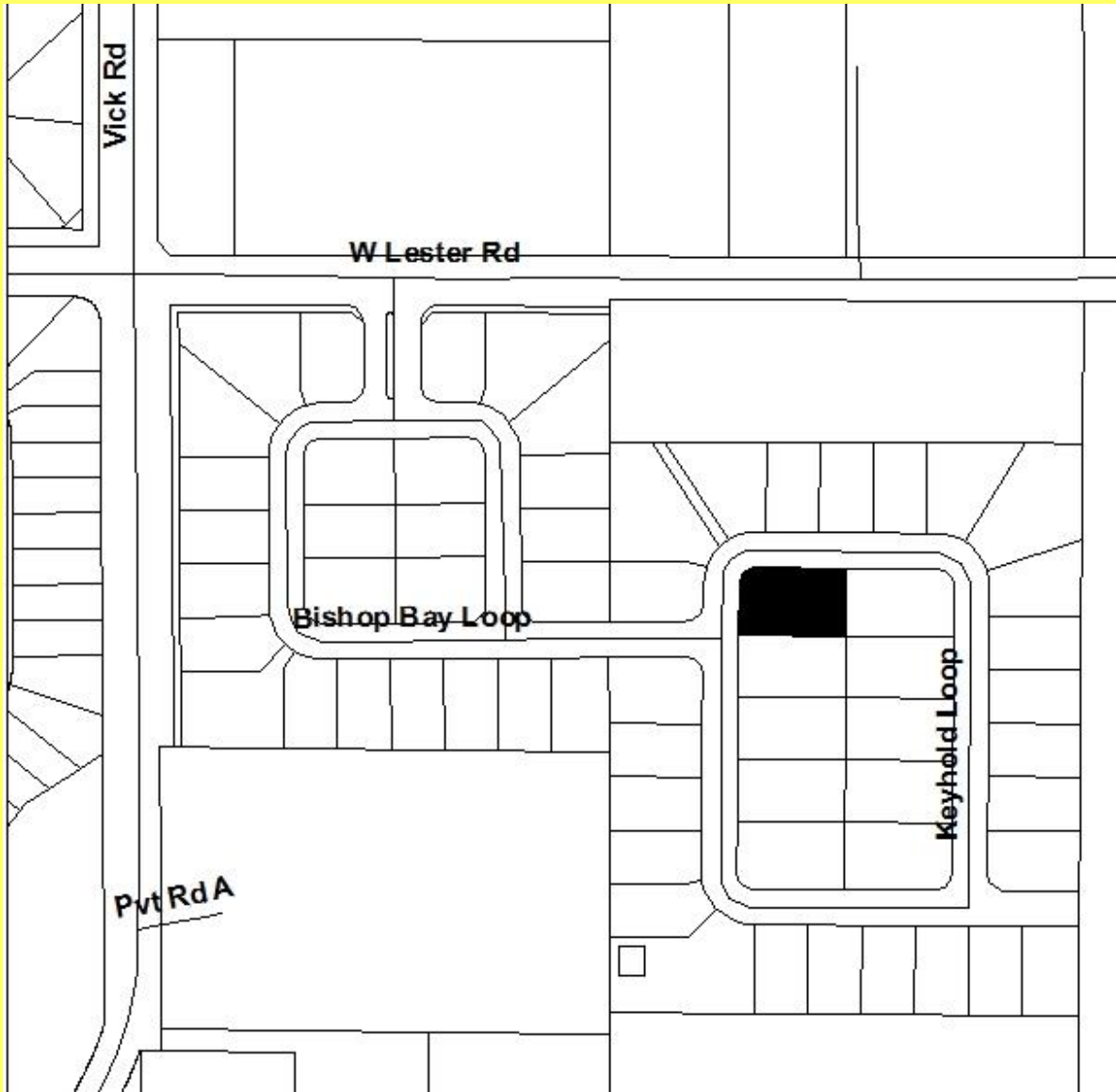
Planning Commission has authority to take final action. Approve, deny, or approve with conditions.

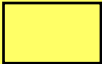

As per the Land Development Code, Article XI - 11.05.00.A. - The Planning Commission has been established as a citizen board to review and approve variances. Conditions may be established by the Planning Commission to reduce the impacts of the effects of the variance.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



PRISCILLA TORRES/DANIEL PADILLA
549 KEYHOLD LOOP
0.33 +/- Acre
Parcel ID #: 33-20-28-7350-00-510
VICINITY MAP



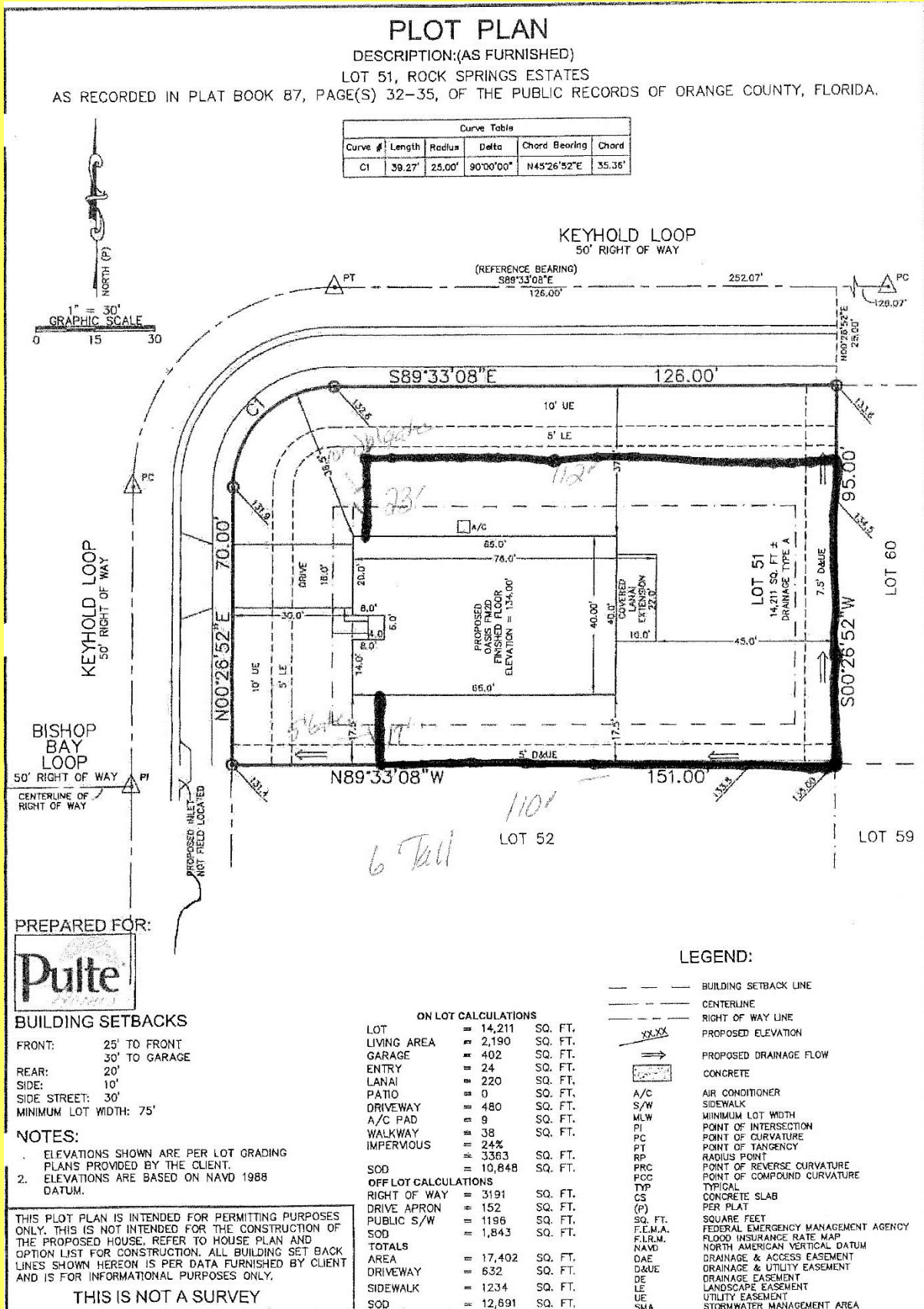
-  Parcels
-  Subject Property



AERIAL MAP



Permit Survey



Site Pictures

















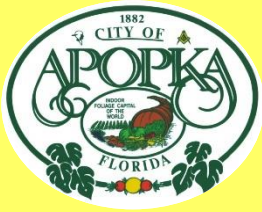












CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SITE PLAN
 SPECIAL REPORTS
 OTHER: Variance

MEETING OF: May 8, 2018
FROM: Community Development
EXHIBITS: Vicinity Map
Aerial Map
Site Plan

SUBJECT: VARIANCE - CHRISTOPHER WRENN - 1686 SPINFISHER DRIVE

REQUEST: APPROVAL OF A VARIANCE OF THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE II, SECTION 2.02.18 (E) TO ALLOW A CORNER LOT HOUSE 27.9 FEET FROM THE PROPERTY LINE, 30 FEET IS REQUIRED.

SUMMARY:

OWNER: D.R. Horton, Inc.

LOCATION: 1686 Spinfisher Drive

LAND USE: Residential Estates (0-1 du/ac)

ZONING: PUD (Planned Unit Development)

EXISTING USE: Single Family Residence – one home site

PROPOSED USE: Single Family Residence – one home site

VARIANCE REQUEST: The applicant requests a variance to allow a house, on a corner lot, to be located approximately 27.9 feet from the property line. On a corner lot, a thirty feet setback is required between the house and the property line, as set forth in the approved Master Plan.

TRACT SIZE: 0.33 +/- acre

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

APPLICABLE CITY CODE:

2.02.18 Planned Unit Development (PUD)

E. Development Standards for Residential PUDs

1a. “The PUD master plan shall identify the maximum residential density, type of development, maximum height limitations, minimum lot size and living area. Types of residential construction may be intermixed as long as adopted residential densities are compatible and height limitations are not exceeded.”

Ordinance 1435, approved by the City Council on June 5, 2002, grants Planned Unit Development zoning with an attached Master Plan. The Master Plan displays required building setbacks as follows:

Front	30 ft
Side	10 ft
Rear	35 ft
Corner	30 ft

LIMITATIONS GRANTING VARIANCES:

A. *Initial determination.* The [Planning Commission] shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved. If so, the [Planning Commission] shall make the following required findings based on the granting of the variance for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the [Planning Commission] shall make the required findings based on the cumulative effect of granting the variance to all who may apply.

Under no circumstances shall the [Planning Commission] grant a variance to permit a use not generally or by special exception permitted in this code or any use expressly or by implication prohibited by the terms of this code. Further, under no circumstance shall the [Planning Commission] offer or accept any negotiation to grant a variance in exchange for any other land use alterations on the affected parcel or any other parcel of land.

No nonconforming use of neighboring lands, structures or buildings in other zoning districts shall be considered grounds for the authorization of the variance.

Staff Response: The subject single family home encroaches 2.1 feet into the corner lot setback based on a special corner lot set back of 30 feet for the Rock Springs Ridge Planned Unit Development. Typically, a perimeter buffer wall for a larger residential development is not placed in easement; it is placed in a tract. Had this been the case, the tract would serve as side lot line, and the required setback would be ten feet, not 30. In such case the residential home would be in compliance with the side yard setback.

APPLICANT’S RESPONSE TO SEVEN VARIANCE CRITERIA:

B. *Required findings.* The [Planning Commission] shall not vary the requirements of any provision of this code unless the board makes a positive finding, based on substantial competent evidence, on each of the following:

1. There are practical difficulties in carrying out the strict letter of the regulation [in] that the requested variance relates to a hardship due to characteristics of the land and not solely on the needs of the owner.

Applicant Response: The variance request is for an existing home constructed by DR Horton on lot 1086 in Rock Springs Ridge. The home is currently under contract with a buyer who is amenable to the setback encroachment. The building plot plan, provided to the City of Apopka prior to building permit issuance, shows the side setback encroachment and was approved.

Staff Response: The building permit and the foundation survey, for the subject property, depicts an encroachment on the corner lot setback. Staff missed the special PUD setback with a 30 foot corner lot setback versus a twenty-five foot corner setback, approving the building permit and foundation survey with that encroachment. This has led to the construction of the house and an “after-the-fact” variance application.

2. The variance request is not based exclusively upon a desire to reduce the cost of developing the site.

Applicant’s Response: This request is not based solely off of a desire to reduce cost. The home is completed and under contract with a potential resident. Development cost is not the reason for the setback encroachment.

Staff Response: The site is already developed.

3. The proposed variance will not substantially increase congestion on surrounding public streets.

Applicant’s Response: The proposed variance has no impact on traffic congestion, as it is for a single family home on a single family lot.

Staff Response: The allowance of variance for a single family home setback will not substantially increase congestion.

4. The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

Applicant’s Response: The proposed variance will not diminish property values in or alter the character of the area. The 2’ side corner setback exposure is towards Jason Dwelley Parkway, and is mitigated for with the existing masonry wall.

Staff Response: Staff finds that the two feet encroachment, allowing 27.9 feet from the side of the house to the property line, will not diminish property values. Traditional residential zoning districts allow a twenty five corner setback.

5. The effect of the proposed variance is in harmony with the general intent of this code and the specific intent of the relevant subject area(s) of the code.

Applicant’s Response: The effect of the proposed setback variance is in harmony with the general intent of the code in that a significantly larger corner setback is provided, and that the setback encroachment is minimal in nature and could be considered di minimus impact to the existing required setback.

Staff Response: Staff agrees with the applicant’s response.

6. Special conditions and circumstances do not result from the actions of the applicant.

Applicant’s Response: Approval of the variance request does not create special conditions or circumstances.

Staff Response: City staff made the error of approving the building permit and foundation survey showing the corner lot setback encroachment. The applicant was not responsible for the circumstances of this variance application.

7. That the variance granted is the minimum variance which will make possible the reasonable use of the land, building or structure. The proposed variance will not create safety hazards and other detriments to the public.

Applicant’s Response: The proposed variance, if granted, will not create safety hazards or other detriments to the public, and will only allow for reasonable use of land and building.

Staff Response: The proposed variance is sufficient for the use of this property, a single family house.

Staff does not recognize any safety hazards with the proposed setback.

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 p.m.)

RECOMMENDATION ACTION:

Planning Commission Role: Based on the information provided by the applicant at the hearing for the variance requested, Planning Commission must first determine that sufficient substantially competent information indicates “whether a need for the proposed variance arises out of the physical surroundings, shape topographical conditions, or other physical or environment conditions that are unique to the specific property involved.” If so, then the Planning Commission must find that substantially competent information occurs to accept each of the seven variance criteria.

Staff Recommendation: Approve a variance of 2.1 feet for the corner lot setback standard for property at 1686 Spinfisher Drive.

Planning Commission has authority to take final action. Approve, deny, or approve with conditions.

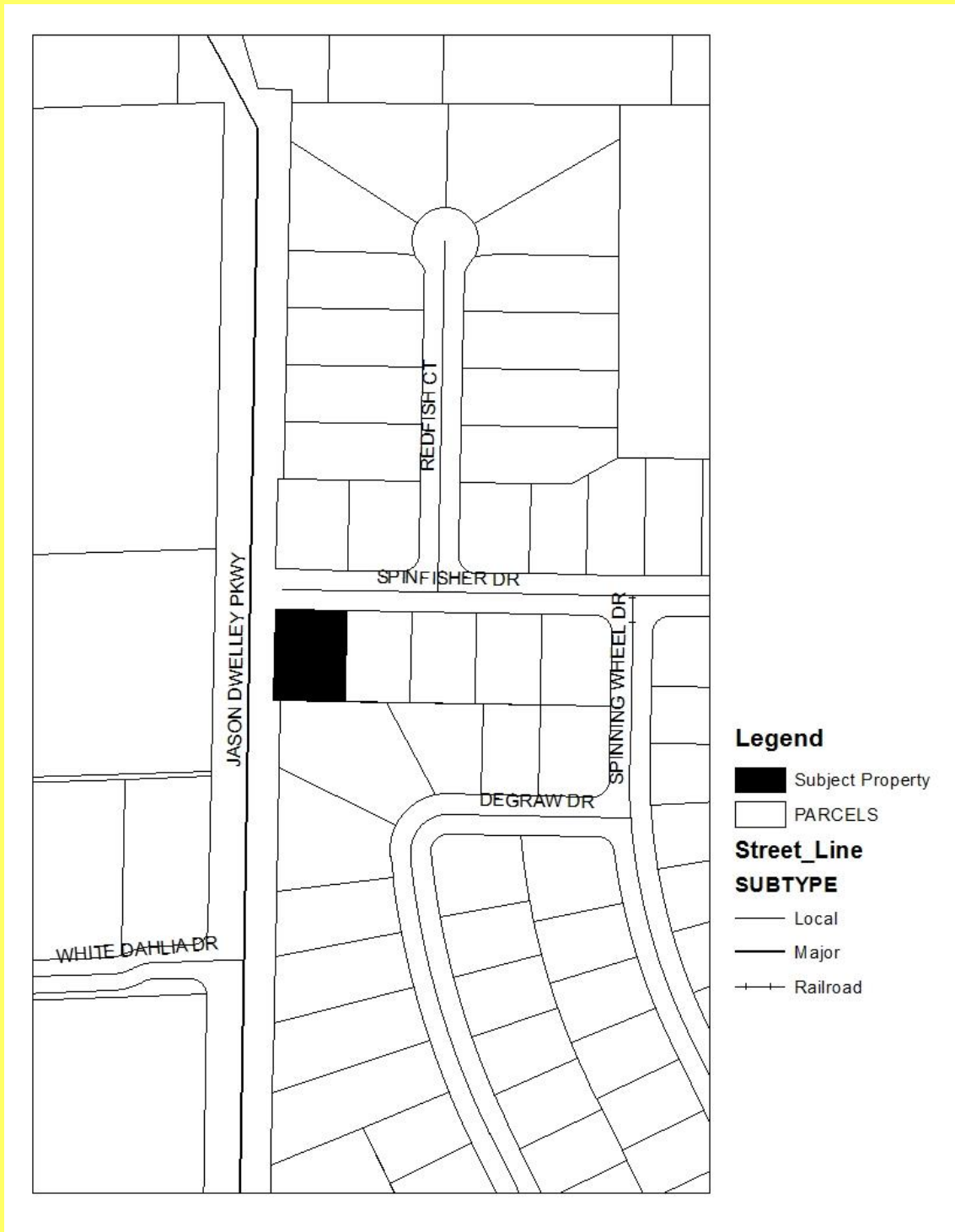
As per the Land Development Code, Article XI - 11.05.00.A. - The Planning Commission has been established as a citizen board to review and approve variances. Conditions may be established by the Planning Commission to reduce the impacts of the effects of the variance.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



Nilsa Gonzalez
301 McCoy Village Ct.
0.12 +/- Acre
Parcel ID #: 03-21-28-4671-00-010

VICINITY MAP

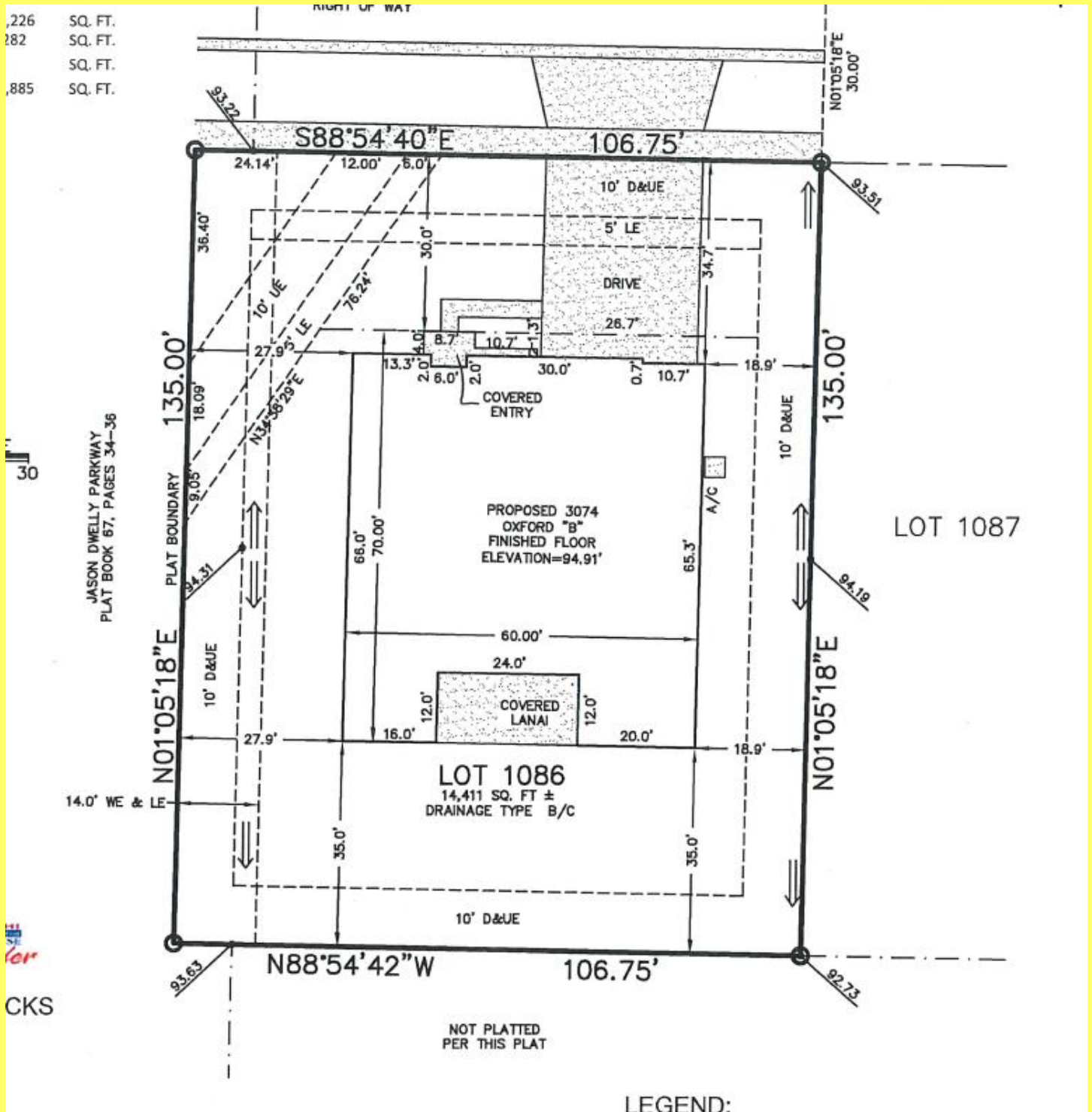




AERIAL MAP



SITE PLAN

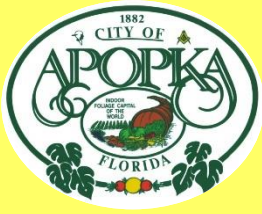


,226 SQ. FT.
 ,282 SQ. FT.
 ,885 SQ. FT.

30

CKS

LEGEND:



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	May 8, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Aerial Map
		Zoning Map
		Final Development Plan
		Architectural Renderings

SUBJECT: FINAL DEVELOPMENT PLAN – CARTER ELECTRIC – SOUTHWEST CORNER OF MARSHALL LAKE AND BRADSHAW ROADS

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR CARTER ELECTRIC LOCATED ON THE SOUTHWEST CORNER OF MARSHALL LAKE ROAD AND BRADSHAW ROAD

SUMMARY:

OWNER/APPLICANT: Carter Land Development, LLC c/o Douglas Carter

ENGINEER: Klima Weeks Civil Engineering, Inc., c/o Selby G. Weeks, P.E.

LOCATION: South Bradshaw Road (Southwest corner of Marshall Lake Road and Bradshaw Road)

PARCEL ID #: 09-21-28-0868-04-000

FUTURE LAND USE: Industrial

ZONING: I-1 (Restricted Industrial)

EXISTING USE: Vacant Land

PROPOSED USE: Office (8,837 square feet) / Warehouse (4,132 8,837 square feet)

TRACT SIZE: 13.02 +/- acres

BUILDING SIZE: 12,969 square feet

FLOOR AREA RATIO 0.03

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial	ROW/I-1	Marshall Lake Road/Vacant
East (City)	Industrial	ROW/I-1	Bradshaw Road/Industrial Park/Retention Park/Vacant
South (City)	Industrial	I-1	Industrial Park
West (City)	Industrial	I-1	Vacant

ADDITIONAL COMMENTS: Carter Electric, Inc. is an electrical contractor specializing in commercial, industrial, and high voltage construction that is adding a location in the City of Apopka. The 12,969 square feet building will be used as an office and warehouse.

PARKING: A total of 71 parking spaces will be provided (50 required by code), three of which are reserved as a handicapped parking space.

ACCESS: Access to the site is provided by a single driveway curb cut on Marshall Lake Road located west of Bradshaw Road.

EXTERIOR ELEVATIONS: The height of the proposed building is 24’8", below the maximum allowable height of 35’. Staff has found the proposed building elevations to be in accordance with the City’s Development Design Guidelines.

STORMWATER: The stormwater management system includes an on-site retention area, on the southern portion of the site. The stormwater pond design meets the City’s Land Development Code requirements.

BUFFER/SCREENING/TREE PROGRAM: As part of the development plan approval, a 10-foot wide landscaping buffer and black vinyl coated chain link fence will screen the outdoor work area from adjacent properties. The viburnum hedges shall be allowed to grow to and maintained at 6 feet in height. The plan also shows sabal palms and viburnum hedges surrounding the dumpster enclosure area. The plan also shows a mixture of elms, crepe myrtles and viburnum hedges within the 25' landscaping buffer along Marshall Lake Road. Live oaks are located in the western and eastern buffers and elms are placed in each parking landscape island. Bald cypress trees surround the retention pond on the southernmost point of the project site's 10-foot wide landscape buffer. The buffer includes a lustrum hedge along both roads and twelve oak trees within the buffer. The applicant has provided a detailed landscape and irrigation plan for Carter Electric that complies with the requirements of the City’s Land Development Code. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	95
Total inches removed	84
Total inches retained:	11
Total inches added:	174
Total inches post development:	195

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

June 6, 2018 - City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Carter Electric Final Development Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Find the Carter Electric Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Carter Electric Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

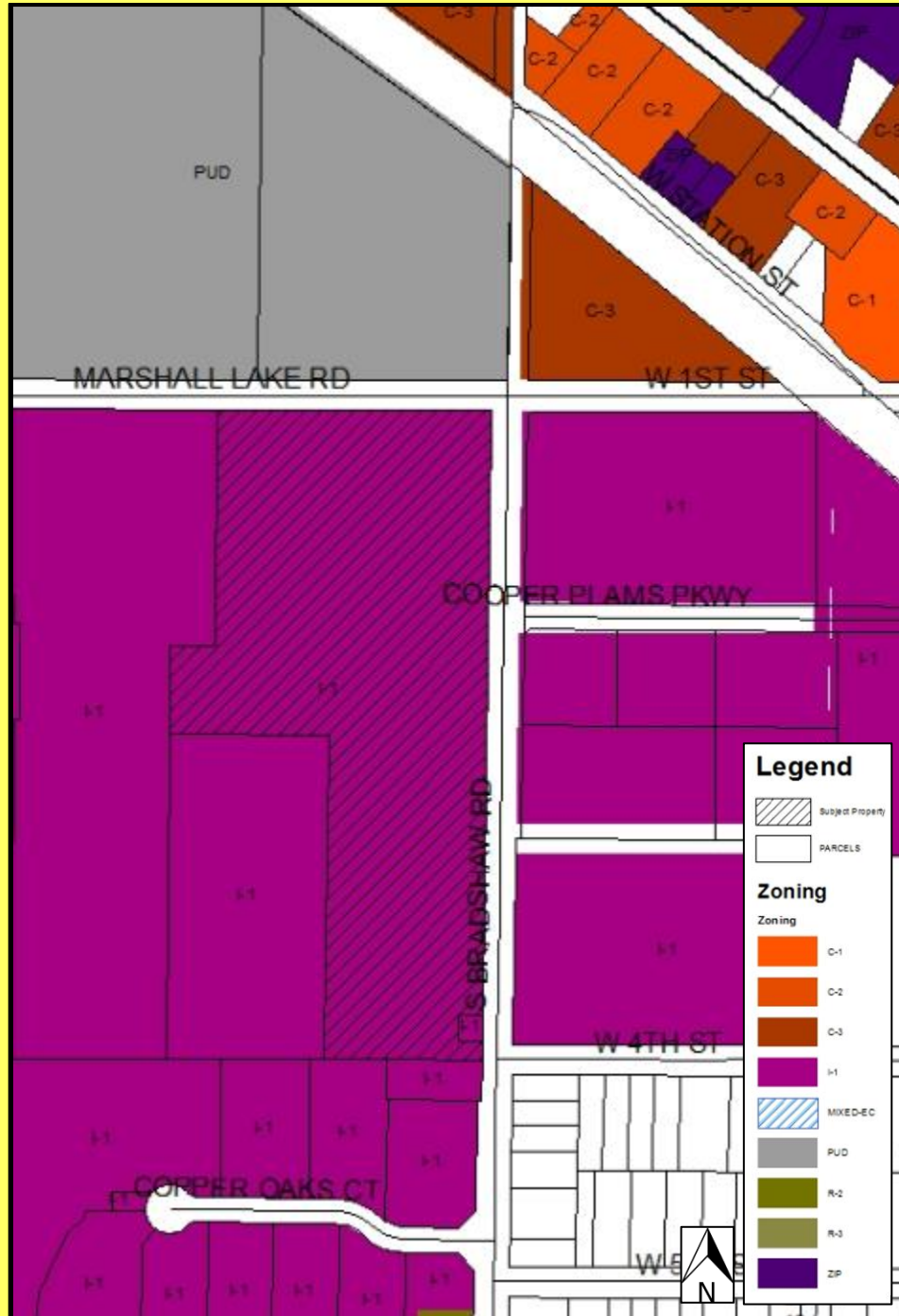
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Final Development Plan
Owner: Carter Land Development, LLC
Applicant: Carter Land Development, LLC c/o Douglas Carter
Engineer: Klima Weeks Civil Engineering, Inc., c/o Selby G. Weeks, P.E.
Parcel I.D. No: 09-21-28-0868-04-000
Location: Marshall Lake Road and Bradshaw Road
Acres: 13.02 acres +/-

VICINITY MAP



ZONING MAP



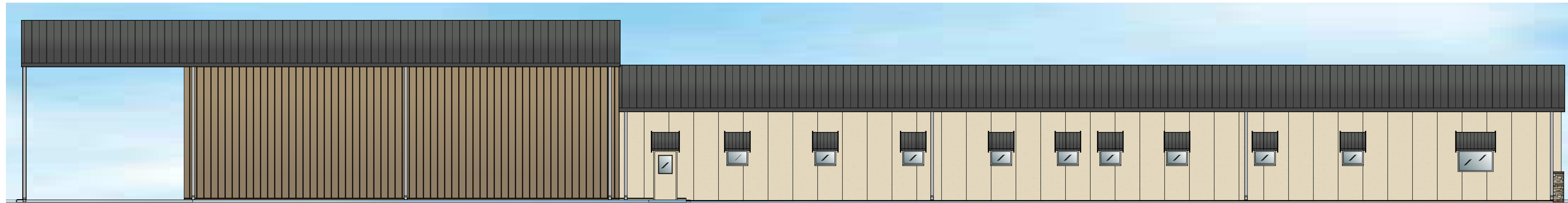
AERIAL MAP



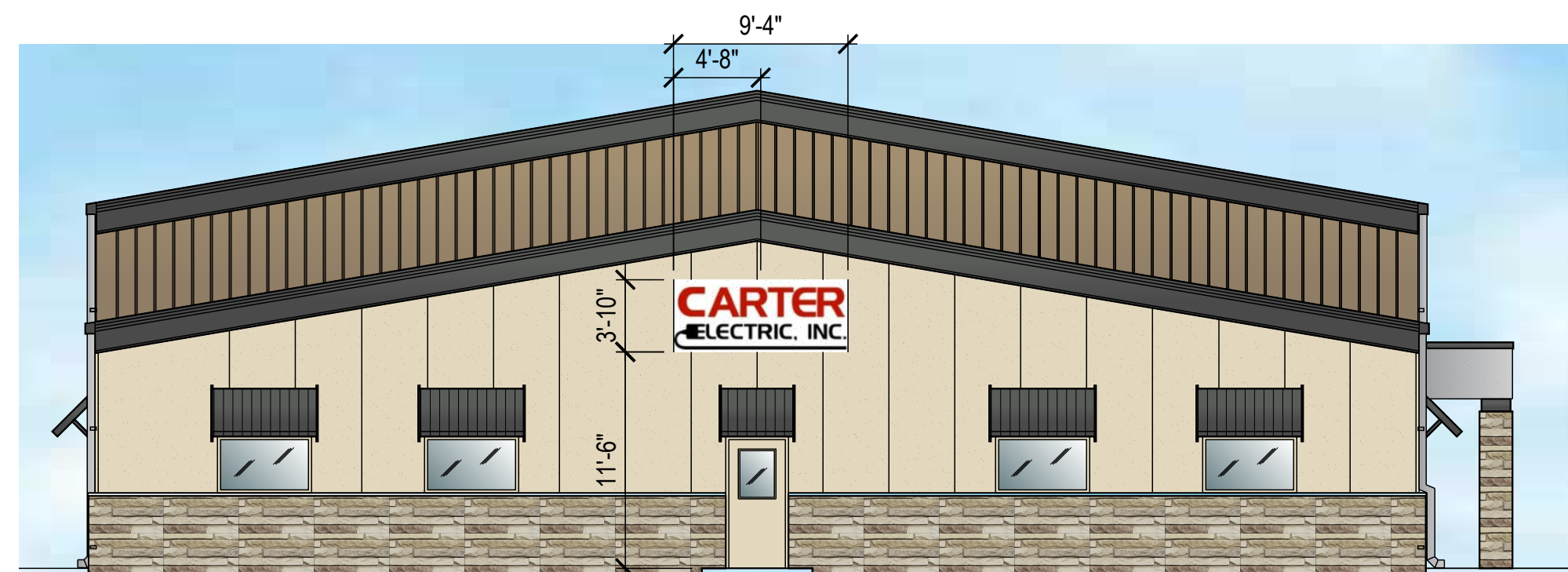
SIGNAGE NOTES:
ALL SIGNAGE TO BE SUBMITTED UNDER SEPARATE COVER FOR SIGN PERMIT.



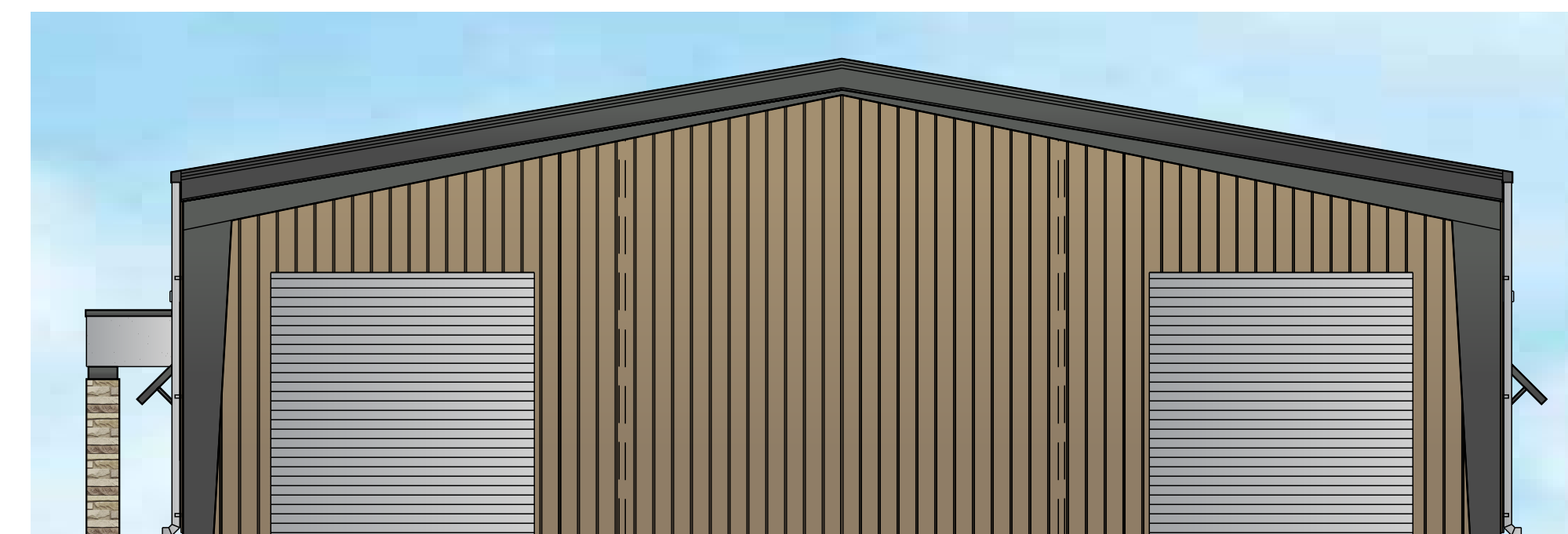
1 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

DESCRIPTION	I.D.	COLOR/FINISH
PBR METAL SIDING PANEL	P1	TAN
TEXTURED METAL SIDING PANEL	P2	STONE
PBR METAL ROOFING PANEL	P3	COAL
NICHIHA LEDGESTONE FIBER CEMENT PANEL	P4	DESERT
METAL SCUPPERS, COLLECTION HEAD AND DOWNSPOUTS	P5	CLEAR ANODIZED ALUMINUM
STANDING SEAM METAL AWNINGS	P7	COAL
HOLLOW METAL DOORS & FRAMES	P9	SW PAINT TO MATCH STONE
ALUMINUM STOREFRONT DOOR & FRAME	P10	CLEAR ANODIZED
STOREFRONT GLAZING	P11	CLEAR
STONE WATER TABLE BAND	P12	SILL CHISELED- GRAY
PRECAST CONCRETE WALL CAP	P12	CAP CHISELED- GRAY
STUCCO-DUMPSTER	P13	SHERWIN WILLIAMS MATCH P2
METAL GATES- DUMPSTER	P14	SHERWIN WILLIAMS MATCH P1

GENERAL NOTES:
1. 'SW' DENOTES SHERWIN WILLIAMS PAINT NUMBERS.



STONE SAMPLE- KURASTONE LEDGESTONE DESERT

CARTER ELECTRIC, INC.
Apopka, Florida

PERMIT SET **2017.042**
02-23-2018 issue date CMH drawn by CMH approved by project number

REVISION SCHEDULE	
DATE	DESCRIPTION
03-16-18	PERMIT COMMENTS

CONCEPT ELEVATIONS **A6.1M**
sheet number

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BHM ARCHITECTURE, INC.
MAIL ONLY: 478 E ALTAMONTE DR., SUITE 108 PMB 264, ALTAMONTE SPRINGS, FL 32701-4622
PHONE: 407.333.2005 LICENSE # AAC000233

CARTER ELECTRIC FINAL DEVELOPMENT PLANS

CITY OF APOPKA, FLORIDA

APRIL 2018



CONTACTS:

OWNER/DEVELOPER/APPLICANT:
CARTER LAND DEVELOPMENT, LLC
DOUGLAS A. CARTER
CARTER ELECTRIC
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APOPKA, FL. 32703
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F: 407-814-2678
E: DOUG@CARTER-ELECTRIC.COM

ARCHITECT:
CAMALA McCARTER HOGUE
BHM ARCHITECTS
478 E. ALTAMONTE DRIVE, SUITE 108
ALTAMONTE SPRING, FLORIDA 32701
P: 407-333-2005
E: CHOGUE@BHM.US.COM

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KLIMA WEEKS CIVIL ENGINEERING, INC.
385 DOUGLAS AVENUE, SUITE 2100
ALTAMONTE SPRINGS, FLORIDA 32714
P: 407-478-8750
F: 407-478-8749
E: SWEEEKS@KLIMAWEEKS.COM

SURVEYOR:
PATRICK K. IRELAND, PSM 6637 LB 7623
IRELAND & ASSOCIATES SURVEYING, INC.
1301 S. INTERNATIONAL PARKWAY SUITE 2001
LAKE MARY, FLORIDA 32746
P: 407.678.3366
F: 407.320.8165

GEOTECHNICAL:
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2815 DIRECTORS ROW, SUITE 500
ORLANDO, FL. 32809
P: 407-859-8378
F: 407-859-9599
E: ARANGASWAMY@ECSLIMITED.COM

LANDSCAPE ARCHITECT:
KATY MAGLEY
MAGLEY DESIGN, LLC.
1817 E. WASHINGTON STREET
ORLANDO, FL. 32803
P: 407-758-9456
E: KATYMAGLEY@MAGLEYDESIGN.COM

SHEET INDEX

C000	COVER SHEET
S 1	BOUNDARY SURVEY
C100	OVERALL SITE PLAN
C101	SITE PLAN
C200	EROSION CONTROL AND DEMOLITION PLAN
C300	GEOMETRY PLAN
C400	GRADING AND DRAINAGE PLAN
C401	CROSS SECTIONS AND DETAILS
C500	UTILITY PLAN
C600	SITE DETAILS
C700	DRAINAGE DETAILS
C800	SANITARY DETAILS
C900	WATER DETAILS
TM1	TREE MITIGATION PLAN
L1	LANDSCAPE PLAN
L2	PLANT SCHEDULE, NOTES, DETAILS
L3	IRRIGATION PLAN
L4	IRRIGATION SCHEDULE AND NOTES
L5	IRRIGATION DETAILS
L6	IRRIGATION DETAILS
A6.1	BUILDING ELEVATIONS
AS1.1	DUMPSTER ENCLOSURE PLAN & DETAILS
E1.2	SITE PLAN PHOTOMETRICS
E1.3	SITE PLAN PHOTOMETRIC CUT SHEETS

LEGAL DESCRIPTION

LEGAL DESCRIPTION:

THE EAST 1/4 OF BLOCK D, BRADSHAW AND THOMPSON'S ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B, PAGE 25, OF THE PUBLIC RECORDS OF ORANGE COUNTY, LESS THE NORTH 50 FEET OF THE SOUTH 88 FEET OF THE EAST 50 FEET THEREOF; AND THE NORTH 1/2 OF WEST 1/2 OF EAST 1/2 OF BLOCK D, BRADSHAW AND THOMPSON'S ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B, PAGE 25, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE WEST 90 FEET OF THE NORTH 470 FEET THEREOF.

PARCEL ID: 09-21-28-0868-04-000

CHARACTER AND INTENDED USE:

THE PROPOSED CONSTRUCTION CONSISTS OF A SINGLE STORY 15,135 SF. BUILDING CONSISTING OF 8,837 SF. OFFICE BUILDING, 4,132 SF. WAREHOUSE, 498 SF. MEZZANINE, 1,668 SF. COVERED AREA (UNCONDITIONED), DRIVEWAYS, PARKING LOT, ASSOCIATED WATER, SEWER AND STORMWATER MANAGEMENT.

UTILITY PROVIDERS:

WATER / SEWER / STORMWATER / RECLAIMED & SOLID WASTE:
CITY OF APOPKA - PUBLIC SERVICES DEPARTMENT
748 E. CLEVELAND STREET
APOPKA, FL. 32703
P: 407-703-1731
F: 407-703-1748

POWER:
DUKE ENERGY
150 PROGRESS ENERGY WAY
LONGWOOD, FL. 32750
P: 407-629-1010

CABLE COMPANIES:
CENTURY LINK
555 LAKE BORDER DRIVE
APOPKA, FL. 32703
P: 407-889-6000

CHARTER SPECTRUM
3767 ALL AMERICAN BLVD.
ORLANDO, FL. 32810
P: 855-222-0102



LOCATION MAP & LAND USE MAP

N.T.S.

SOUTH BRADSHAW ROAD, APOPKA, FLORIDA

100% CONSTRUCTION DOCUMENTS

NO.	REVISION	BY	DATE
1	CITY COMMENTS	DB	3/26/18
2	CITY COMMENTS	DB	4/24/18
3			
4			

385 DOUGLAS AVE
SITE 2100
ALTAMONTE SPRINGS
FLORIDA 32714
TELEPHONE 407.478.8750
FACSIMILE 407.478.8749

**Klima
Weeks**
CIVIL ENGINEERING

CERTIFICATE OF AUTHORIZATION No.: 9230

GENERAL INFORMATION:

STATEMENT OF INTENT:

THE PROPOSED CONSTRUCTION CONSISTS OF A SINGLE STORY 15,135 SF BUILDING CONSISTING OF 8,837 SF OFFICE BUILDING, 4,132 SF WAREHOUSE, 498 SF MEZZANINE, 1,668 SF COVERED AREA (UNCONDITIONED), DRIVEWAYS, PARKING LOT, ASSOCIATED WATER, SEWER AND STORMWATER MANAGEMENT.

BUILDING INFORMATION:

BUILDING: 15,135 SF
OFFICE: 8,837 SF
WAREHOUSE: 4,132 SF
MEZZANINE: 498 SF
COVERED AREA: 1,668 SF
TOTAL: 15,135 SF

PROPERTY INFORMATION:

ADDRESS: S BRADSHAW RD & MARSHALL LAKE RD, APOPKA, FL
SITE TOTAL AREA: 567,123± SF = 13.02 AC
PROPOSED USE: OFFICE/WAREHOUSE
NUMBER OF UNITS: 1
EXISTING ZONING: I-1
FLU: INDUSTRIAL

MAXIMUM ALLOWED BUILDING HEIGHT: 35'
MAXIMUM BUILDING HEIGHT: 24'-8"

SOILS (PROJECT AREA):

CANDLER FINE SAND, CANDLER-URBAN LAND AND ST LUCIE-URBAN LAND, ZOLFO-URBAN LAND.

FEMA FLOOD DATA

THIS SITE IS LOCATED IN ZONE X PER FEMA MAP No. 12095C0120 F, REVISED SEPTEMBER 25, 2009.

PARCEL ID No.: 09-21-28-0868-04-000

ADJACENT ZONING:

SUBJECT SITE: I-1
NORTH: I-1 (MARSHALL LAKE RD)
EAST: I-1 (S BRADSHAW RD)
WEST: I-1
SOUTH: I-1

ADJACENT LAND USE:

SUBJECT SITE: INDUSTRIAL
NORTH: INDUSTRIAL (MARSHALL LAKE RD)
EAST: INDUSTRIAL (S BRADSHAW RD)
WEST: INDUSTRIAL
SOUTH: INDUSTRIAL

BUILDING SETBACKS (I-1):

REQUIRED (FT.)	PROVIDED (FT.)
FRONT: MARSHALL LAKE RD. 25	FRONT: MARSHALL LAKE RD 118
EAST SIDE: BRADSHAW RD. 25	EAST SIDE: 385
WEST SIDE: 10	WEST SIDE: 84
REAR: 10	REAR: 331

LANDSCAPE BUFFER (I-1)

REQUIRED (FT.)	PROVIDED (FT.)
FRONT: MARSHALL LAKE RD. 25	FRONT: MARSHALL LAKE RD 42
EAST SIDE: BRADSHAW RD. 25	EAST SIDE: 328
WEST SIDE: 10	WEST SIDE: 12
REAR: 10	REAR: 20

PARKING CALCULATIONS:

OFFICE BUILDING: 1 SPACE PER 250 SF OF GFA
THEREFORE 8,837 SF/250 SF X 1 SPACE = 36 SPACES

WHOLESALE, INDUSTRIAL, MANUFACTURE, PROCESSING OR ASSEMBLY:
2 SPACES PER 1,000 SF OF GFA, PLUS 1 SPACE PER VEHICLE OPERATING FROM PREMISES OR 1 SPACE PER 2 EMPLOYEES.
THEREFORE 4,132 SF/1,000 SF X 2 SPACES PLUS 6 VEHICLES = 14 SPACES

PROPOSED AREA CALCULATIONS:

SITE TOTAL AREA: 567,123 SF = 13.02 AC = 100%

IMPERVIOUS AREA: 107,611 SF = 2.47 AC = 19.0%

PERVIOUS AREA: 459,512 SF = 10.55 AC = 81.0%

MAX. F.A.R. ALLOWABLE: 0.60

F.A.R.: 15,135 SF / 567,123 SF = 0.03

I.S.R (PROVIDED): IMP/SITE SF = 0.21 = 21%

OPEN SPACE REQUIRED: INDUSTRIAL (NO OPEN SPACE REQUIRED)

CITY OF APOPKA SPECIFIC CONDITIONS:

1. OUTDOOR VEHICLE STORAGE IS PROHIBITED UNLESS IN DESIGNATED AREAS.
2. THE STABILIZED WORK AREA WILL BE USED FOR STORAGE OF CONSTRUCTION VEHICLES, EQUIPMENT AND MATERIALS THAT ARE NECESSARY FOR THE DAY-TO-DAY OPERATIONS OF THE OWNER'S CONTRACTING BUSINESS.

REQUIRED PARKING:

STANDARD: 48
ACCESSIBLE: 2
TOTAL: 50 SPACES

PROPOSED PARKING:

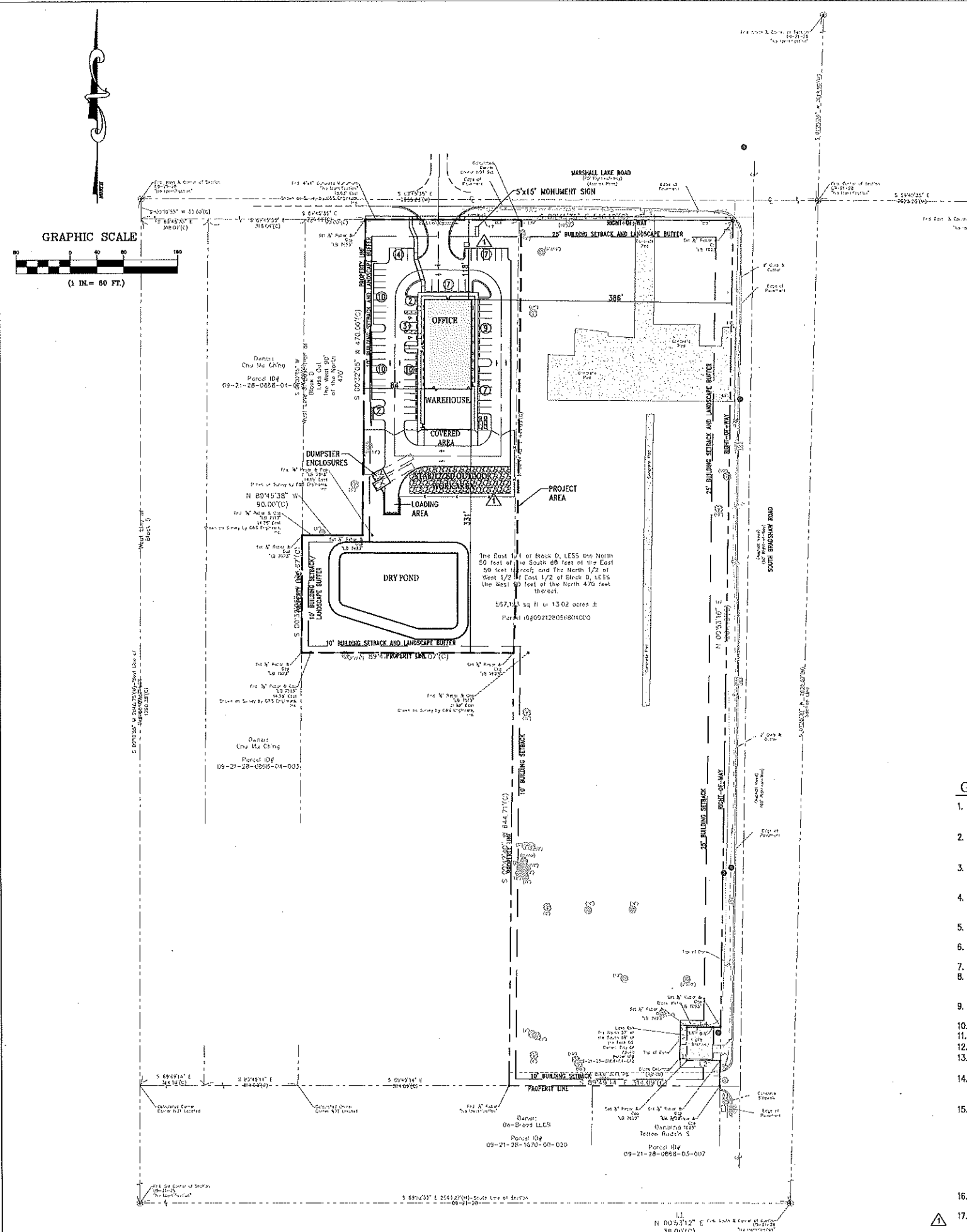
STANDARD: 68
ACCESSIBLE: 3
TOTAL: 71 SPACES

LOADING AREA:

REQUIRED: 10' X 25'
PROVIDED: 20' X 40'

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS ALSO TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES AND ANY UTILITY ADJUSTMENT REQUIRED. UTILITY COMPANIES SHALL BE NOTIFIED A MINIMUM OF THREE WORKING DAYS PRIOR TO EXCAVATION.
2. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE DEPICTED FROM ACTUAL FIELD MEASUREMENTS AND/OR DERIVED FROM RECORD DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE LOCATION OF EXISTING UTILITIES TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION AND TO COORDINATE WITH THE UTILITY OWNERS TO RESOLVE THESE CONFLICTS.
3. THE SUBSURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS FOR PROJECT CONSTRUCTION. INFORMATION SHOWN, INCLUDING WATER LEVELS, REPRESENTS EXISTING CONDITIONS AT THE SPECIFIC BORING LOCATIONS AT THE TIME THE BORINGS WERE MADE.
4. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER, IN WRITING, WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE OR SHE FAILS TO PROVIDE THE WRITTEN NOTIFICATION.
5. ALL MATERIALS, INSTALLATION AND TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA, FLORIDA BUILDING CODE AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE ALL SHEETING, SHORING AND BRACING REQUIRED TO PROTECT ADJACENT STRUCTURES AND UTILITIES OR MINIMIZE TRENCH WIDTH AS REQUIRED. SHEETING AND SHORING SHALL BE DESIGNED BY A STATE OF FLORIDA PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
8. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. ANY PUBLIC LAND CORNER, WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING ALTERED AND HAS NOT YET BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHOUT DELAY.
10. COORDINATE VALUES ARE BASED ON A LOCAL GRID ESTABLISHED BY THE ENGINEER AND ARE INDEPENDENT OF VALUES DEPICTED ON THE SURVEY.
11. ALL REFERENCES TO PROPOSED CONSTRUCTION INDICATES CONSTRUCTION INCLUDED IN THIS CONTRACT.
12. ALL PIPING TO HAVE A MINIMUM OF THREE (3) FEET COVER UNLESS OTHERWISE NOTED ON PLANS.
13. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY STRIPING, TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," LATEST EDITION, AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS."
14. MAINTENANCE OF TRAFFIC: ACCESS FOR LOCAL TRAFFIC SHALL BE MAINTAINED, IF, DURING CONSTRUCTION, ACCESS FOR LOCAL TRAFFIC IS CHANGED, THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE JURISDICTIONAL AGENCY A MINIMUM OF THREE (3) WORKING DAYS IN ADVANCE. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH INDEX NO. 600 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS.
15. REFER TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS FOR THE FOLLOWING:
A. TYPE "C" INLET (INDEX NO. 232)
B. TYPE "D" CURB (INDEX NO. 300)
C. TYPE "F" CURB AND GUTTER (INDEX NO. 300)
D. CURB RAMP (INDEX NO. 304)
E. CROSSWALK, STOP BAR (INDEX NO. 17346)
F. PAVEMENT ARROWS & MESSAGE SIZE & SPACING (INDEX NO. 17346)
G. CONCRETE BUMPER GUARD (WHEEL STOP) (INDEX NO. 300)
16. AS-BUILT DRAWINGS, SIGNED AND SEALED BY A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, SHALL BE PROVIDED PER THE PROJECT SPECIFICATIONS AND SHALL COMPLY WITH CITY OF APOPKA REQUIREMENTS.
17. ALL POWER SERVICES WILL HAVE TO BE PROVIDED UNDERGROUND, NO OVERHEAD SERVICE WILL BE ALLOWED.



385 Douglas Avenue, Ste 2100
Altamonte Springs, FL 32714
Telephone 407.478.8750
Facsimile 407.478.8749
Certificate of Authorization No.: 9230

Selby G. Weeks 56991

CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
OVERALL SITE PLAN

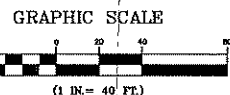
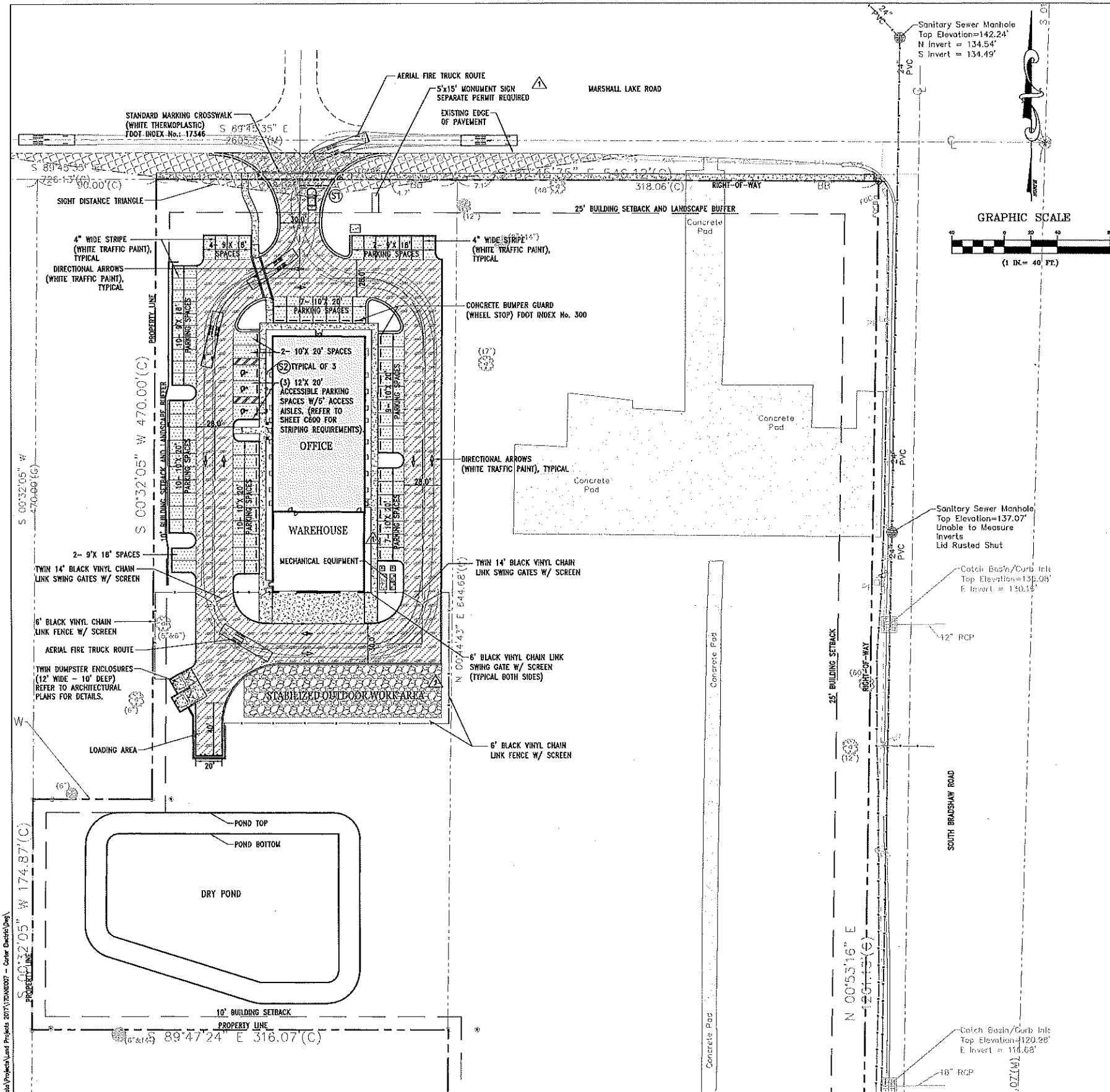
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checked by: SGW
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C100 & C101 Site Plans - Carter Elec.dwg

C 100

File Location: C:\Users\elsham\Documents\Projects\2017\17DAND007 - Carter Electric.dwg

CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
SITE PLAN



AERIAL FIRE TRUCK DIMENSIONS

WHEEL BASE - 249 INCHES
KINGPIN CENTERS - 68.5 INCHES
FRONT TRACK - 80.7 INCHES
BODY FRONT OVERHANG - 86 INCHES
BODY WIDTH - 96 INCHES
BUMPER TO BUMPER LENGTH - 511 INCHES
MAXIMUM INSIDE CRAMP ANGLE - 44 DEGREES

NOTE: UNOBSTRUCTED VERTICAL CLEARANCE OF AT LEAST 13 FEET 6 INCHES SHALL BE PROVIDED FOR ALL DEPICTED TRUCK ROUTES.

STRIPING AND SIGNAGE LEGEND:

- (S1) STOP**
R1-1 "STOP" SIGN (30" HIGH INTENSITY GRADE SIGN). 24" WHITE THERMOPLASTIC STOP BAR.
- (S2) HANDICAP PARKING SIGN:** REFER TO SHEET C600 FOR DETAIL. 12' x 20' HANDICAP PARKING SPACE W/ 5' x 20' ACCESS AISLE, REFER TO SHEET C600 FOR DETAIL AND STRIPING REQUIREMENTS.

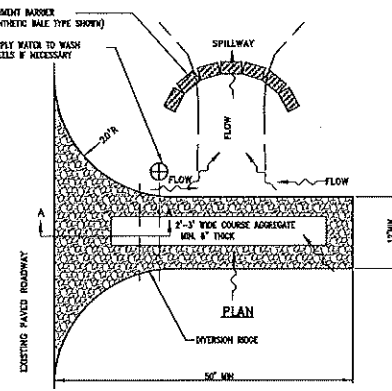
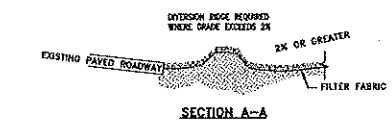
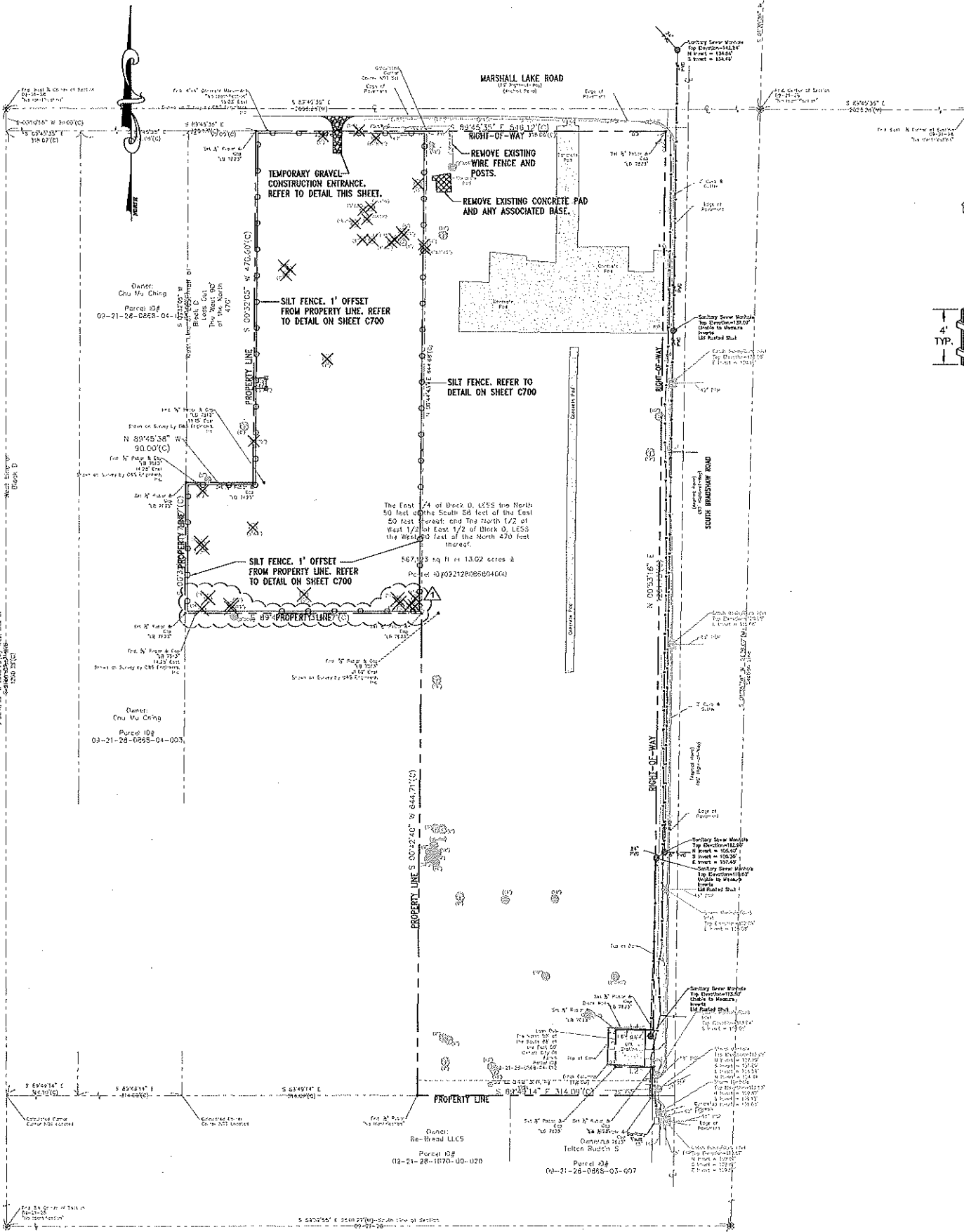
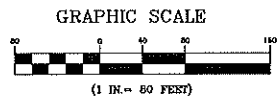
PAVING LEGEND:

- CONCRETE WALKS, PADS AND PAYEMENT** (REFER TO DETAILS ON SHEET C600)
- STABILIZED OUTDOOR WORK AREA PAYEMENT** (ASPHALT MILLINGS OR CONCRETE FINES)
- LIGHT-DUTY ASPHALT PAYEMENT SECTION** (REFER TO DETAIL ON SHEET C600)
- HEAVY-DUTY ASPHALT PAYEMENT SECTION** (REFER TO DETAIL ON SHEET C600)

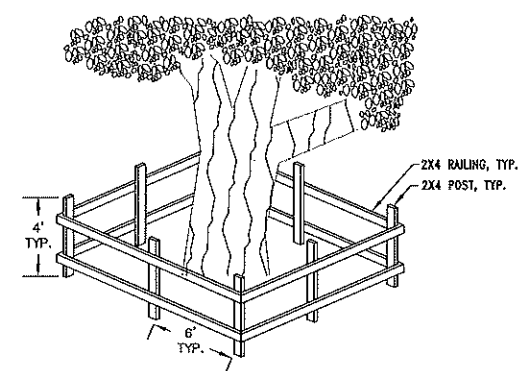
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drawn by: ELI
checked by: SGW
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C100 & C101 Site Plan - Carter Elec.dwg

File Location: C:\Klima\Drawings\Site\17DAND007 - Carter Electric.dwg
Filename: C100 & C101 Site Plan - Carter Elec.dwg Plot Date: Apr. 24, 2018 12:03am



- NOTE(S):
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASKET.
 4. ALL EROSION CONTROL MATERIALS, CONSTRUCTION & MAINTENANCE TO BE PER APPLICABLE SECTIONS OF FOOT STANDARD SPECIFICATION #104.
 5. USE SANDBAGS, SYNTHETIC BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASKET REQUIRED.
 6. COURSE AGGREGATE & FILTER FABRIC TO BE PER SECTIONS OF FOOT STANDARD SPECIFICATION #901 & #985 RESPECTIVELY.



TREE BARRIER DETAIL
N.T.S.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE DETAIL
N.T.S.

- DEMOLITION LEGEND**
- SILT FENCE (REFER TO DETAIL ON SHEET C700)
 - ✕ TREE TO BE REMOVED
 - EXISTING TREE BARRIER (REFER TO DETAIL THIS SHEET)

DEMOLITION NOTES:

1. CONTACT AND COORDINATE WITH THE CITY OF APOPKA PRIOR TO ANY REMOVAL OR CAPPING OF EXISTING WATER, SEWER & STORMWATER UTILITIES.
2. UTILITY LINES SHALL BE DEMOLISHED AND REMOVED OR LEFT IN PLACE AS REQUIRED BY THE UTILITY DEPARTMENT, LOCAL REQUIREMENTS AND THE HEALTH DEPARTMENT. ANY CONDUITS THAT ARE LEFT IN PLACE SHALL HAVE ENDS SEALED WITH LEAN CONCRETE.
3. ALL AREAS WHERE PAVEMENT, BUILDING SLABS, FOUNDATIONS, UTILITIES, CONDUITS, AND/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACK FILLED WITH SELECT BACK FILL MATERIAL. ALL SELECT BACK FILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF THE SPECIFICATIONS AND THE ON-SITE GEOTECHNICAL ENGINEER.
4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE.
5. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY.
6. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ASPHALT RESURFACING AND STRIPING TO ALL EXISTING ROADS WHICH ARE DAMAGED DURING CONSTRUCTION. ALL REPAIRS TO BE MADE IN ACCORDANCE WITH FDOT REQUIREMENTS.
8. ANY ENCOUNTERED CONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE GEOTECHNICAL ENGINEER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
9. THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
10. REMOVE AND DISPOSE OF TREES TO BE REMOVED PER THIS SHEET.

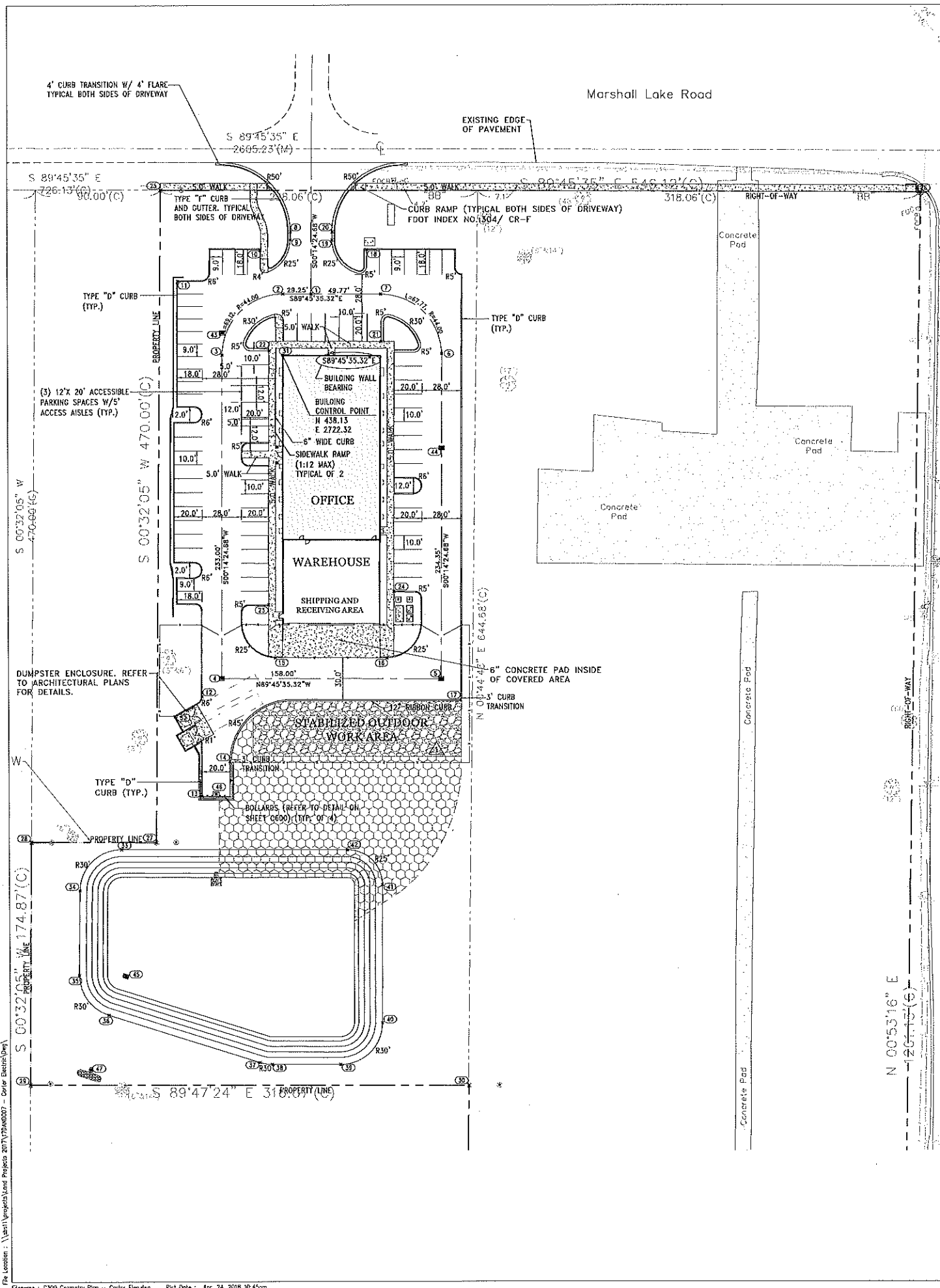
EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS OF THE CITY OF APOPKA, FLORIDA, FDOT AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
3. SOIL MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
5. ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC OR PRIVATE ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
6. ALL PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADIRG.
7. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
8. THE EROSION CONTROL MEASURES ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.

CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
EROSION CONTROL & DEMOLITION PLAN

revision	description	date
△	City Comments	03.26.18
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drawn by: ELI
checked by: SGW
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C200 Eros Cont & Demo - Carter Elec.dwg



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GEOMETRY NOTES:

- THREE (3) FOOT CURB TRANSITION SHALL BE PROVIDED AT ALL CURB TERMINATIONS.
- POINTS SHOWN ON THE PLANS HAVE BEEN SET AT FACE OF CURB, PC, PT, CURB MIDPOINT AND INTERSECTIONS LOCATIONS. POINTS SHOWN ON UTILITY & STORM STRUCTURES ARE AT THE CENTER OF THE STRUCTURE.
- REFER TO GRADING PLANS FOR LIMITS OF FLUSH AND RAISED CONCRETE WALKS. DISPOSITION OF WALK/ASPHALT INTERFACE IS PROVIDED BY SPOT ELEVATIONS.

**CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
GEOMETRY PLAN**

revision	description	date
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checked by: SGW
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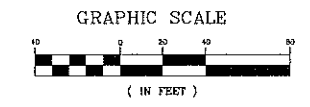
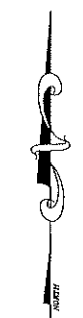
C 300

**CARTER ELECTRIC
MARSHALL LAKE ROAD
APOKA, FLORIDA
PAVEMENT, GRADING &
DRAINAGE PLAN**

revision	description	date
△	City Comments	03.26.18
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drawn by: ELJ
checked by: SGV
date: 02/27/2018
plot scale: ASSHOWN
project number: 17DAN007
file name: C400 Grading Plan - Carter Elec.dwg

C 400



DRAINAGE KEYNOTES:

- ① RE INTO 5"x5" ROOF DOWNSPOUT W/ 6" PVC @ INV 128.00 AND EXTEND TO STORM MAIN @ 1.0% MIN. SLOPE.

GRADING & DRAINAGE LEGEND:

- 11.00 EXISTING SURVEY SPOT GRADE
- PROPOSED DRAINAGE FLOW
- 12.00 PROPOSED SPOT GRADE
- 12.00± MEG MATCH EXISTING GRADE
- GRADE BREAK LINE

GRADING AND DRAINAGE NOTES

- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE FINISHED GRADES UNLESS INDICATED OTHERWISE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE GRADED TO ORIGINAL GROUND LINES AND FINISHED WITH SOD PER PROJECT SPECIFICATIONS UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL MAINTAIN ALL AREAS UNTIL FINAL ACCEPTANCE.
- ALL INLET AND MANHOLE TOPS SHALL BE TRAFFIC BEARING UNLESS OTHERWISE NOTED.
- SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2%. SIDEWALK LONGITUDINAL SLOPES SHALL NOT EXCEED 5%.

PROJECT BENCHMARK:

SOURCE: BOUNDARY AND TOPOGRAPHIC SURVEY OF SOUTH BRADSHAW ROAD, PARCEL ID #09-21-27-0868-04-000, LYING IN SECTION 09, RANGE 21, TOWNSHIP 28 EAST, APOPKA FL, BY IRELAND & ASSOCIATES SURVEYING, INC., DATED 03-21-17.

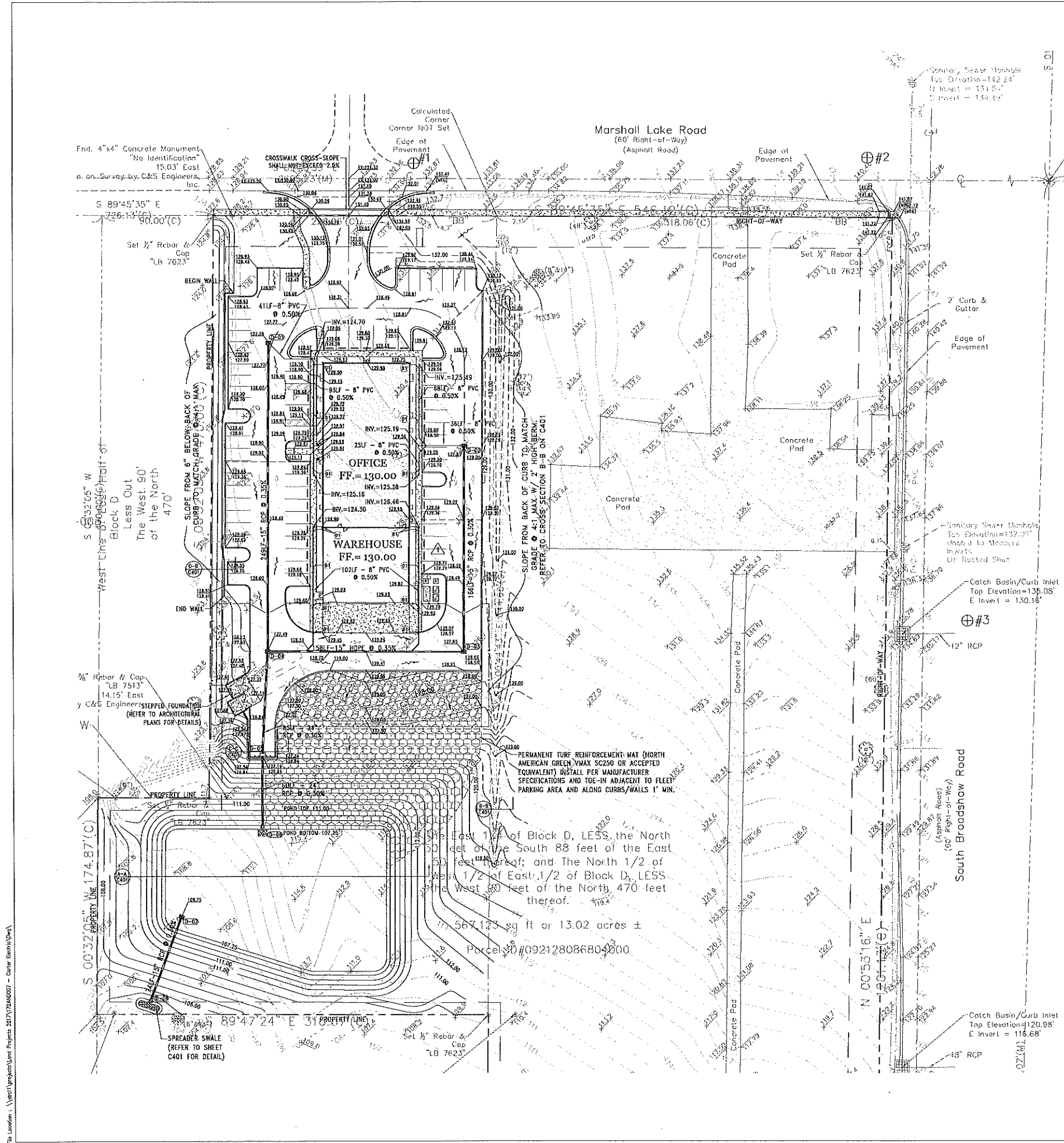
THE ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM PER BENCH MARK NUMBER TP-1204, ELEVATION = 134.71' (NAVD 88)

FLOOD INSURANCE RATE MAP:

THE SITE IS LOCATED IN ZONE X PER THE "FIRM" MAP NO. 12095C 0120F AND COMMUNITY NO. 120180, DATED SEPTEMBER 25, 2009.

DRAINAGE STRUCTURE TABLE:

D-01	TYPE "F" INLET TOP EL. = 127.58 SE. INV. = 124.50 S. INV. = 123.82	D-05	TYPE "F" INLET TOP EL. = 126.54 N. INV. = 122.19 S. INV. = 107.43
D-02	TYPE "F" INLET TOP EL. = 127.81 W. INV. = 125.00 S. INV. = 123.50	D-06	MITERED END SECTION (REFER TO DETAIL SHEET C700) INV. = 107.25
D-03	TYPE "F" INLET TOP EL. = 127.95 N. INV. = 123.00 W. INV. = 123.00	D-07	TYPE "C" INLET TOP EL. = 109.75 6"x9" WEIR @ INV. = 109.00 S. INV. = 103.22
D-04	TYPE "F" INLET TOP EL. = 127.49 N. INV. = 122.95 E. INV. = 122.45 S. INV. = 122.45	D-08	MITERED END SECTION (REFER TO DETAIL SHEET C401) INV. = 103.00

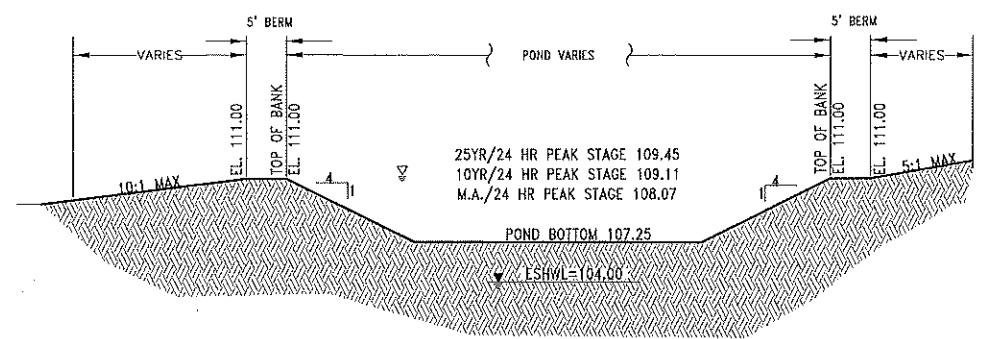


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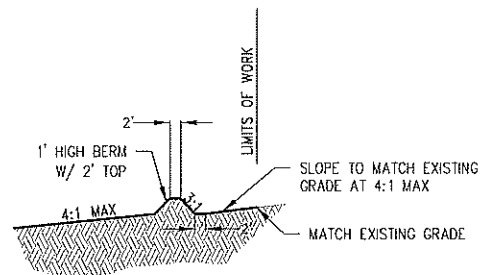
CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
CROSS SECTIONS AND DETAILS

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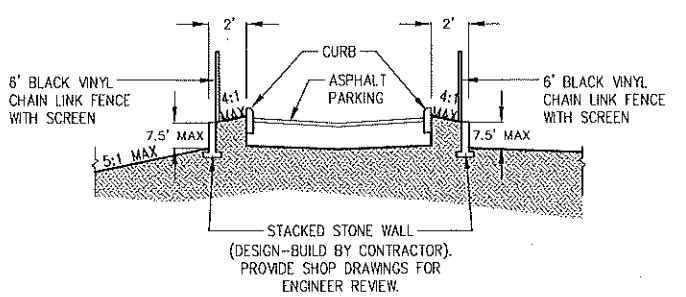
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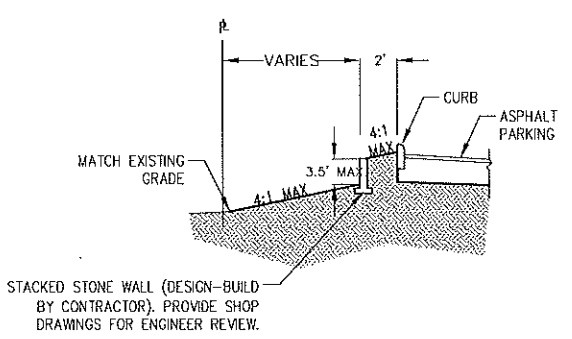
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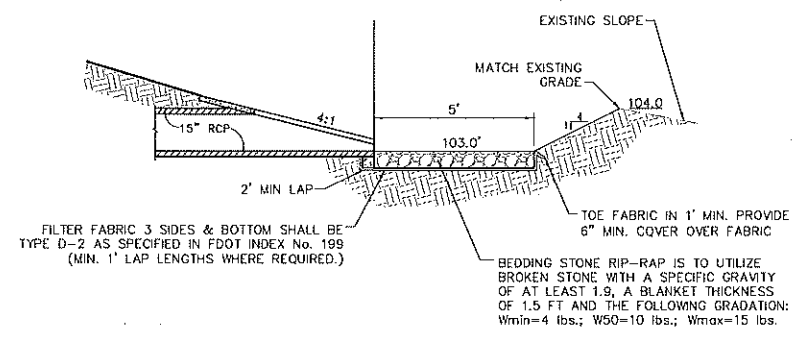
CROSS-SECTION "B - B"
N.T.S.



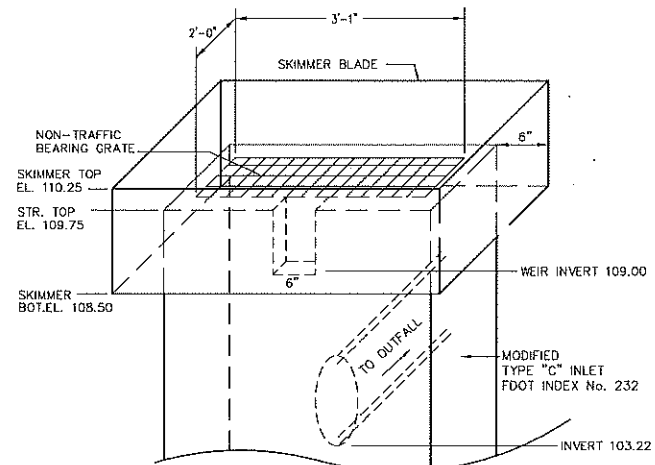
NOTE: REFER TO C400 FOR CURB AND PAVEMENT ELEVATIONS.
CROSS-SECTION "C - C"
N.T.S.



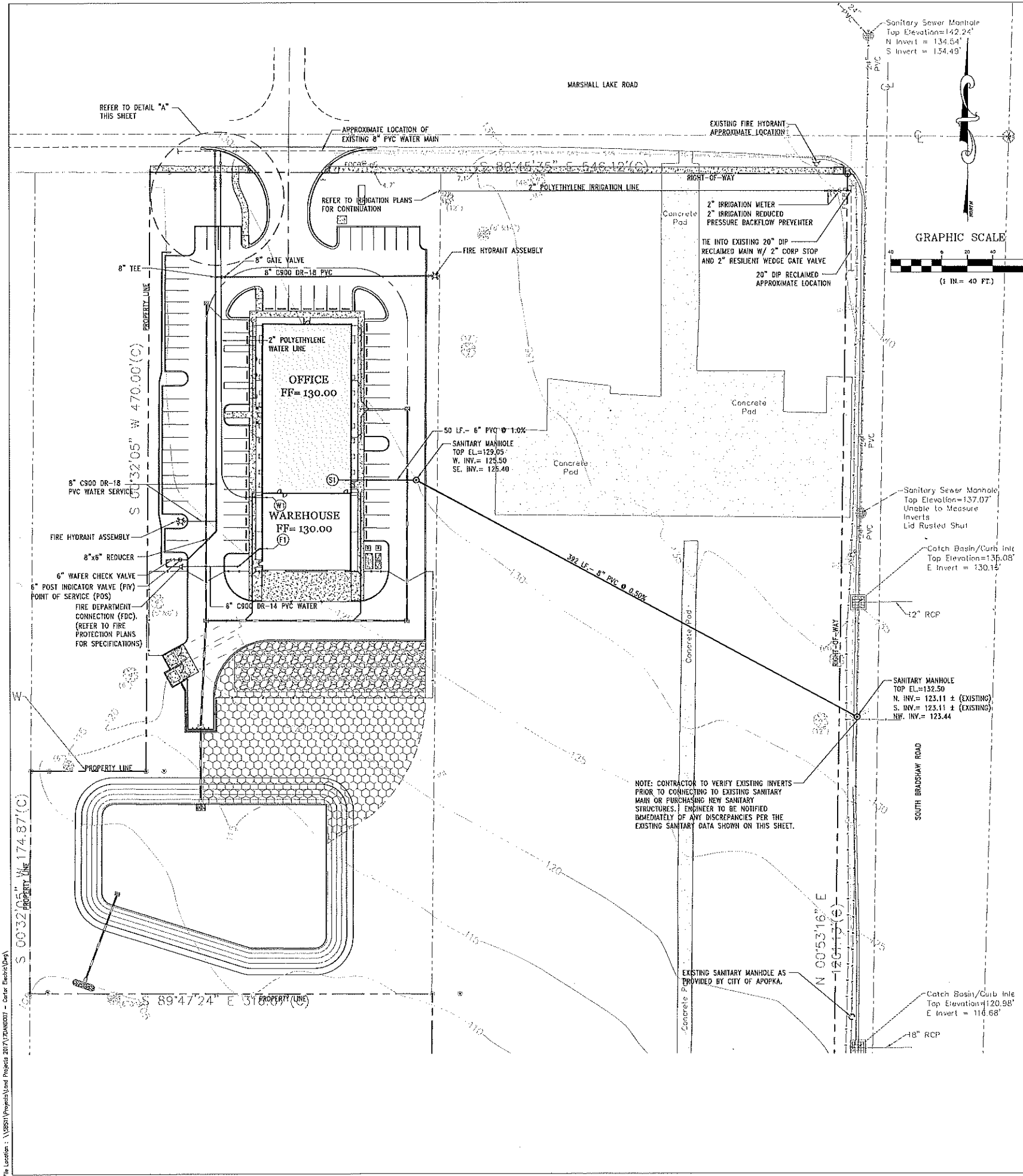
NOTE: REFER TO C400 FOR CURB AND PAVEMENT ELEVATIONS.
CROSS-SECTION "D - D"
N.T.S.



MITERED END SECTION W/ SPREADER SWALE
N.T.S.

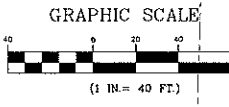


DRY POND CONTROL STRUCTURE DETAIL (D-07)
N.T.S.



UTILITY NOTES

- ALL WATER & WASTEWATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF APOPKA UTILITIES AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - A. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE (3) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER, REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - B. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - C. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE (3) FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX (6) INCHES ABOVE THE TOP OF THE SEWER.
 - D. WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN (10) FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM.
- VERTICAL SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
 - A. WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE THE OUTSIDE OF THE OTHER PIPELINE.
 - B. WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST TWELVE (12) INCHES ABOVE THE OUTSIDE OF THE OTHER PIPELINE.
 - C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610 F.A.C.
- ALL ON-SITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- BACTERIOLOGICAL SAMPLE POINTS SHALL BE AS DESCRIBED IN THE FDEP PERMIT CONDITIONS.
- ALL UNDERGROUND FIRE MAINS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, 2007 EDITION, "STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES [F.A.C. 69A-60.005 (2)]."



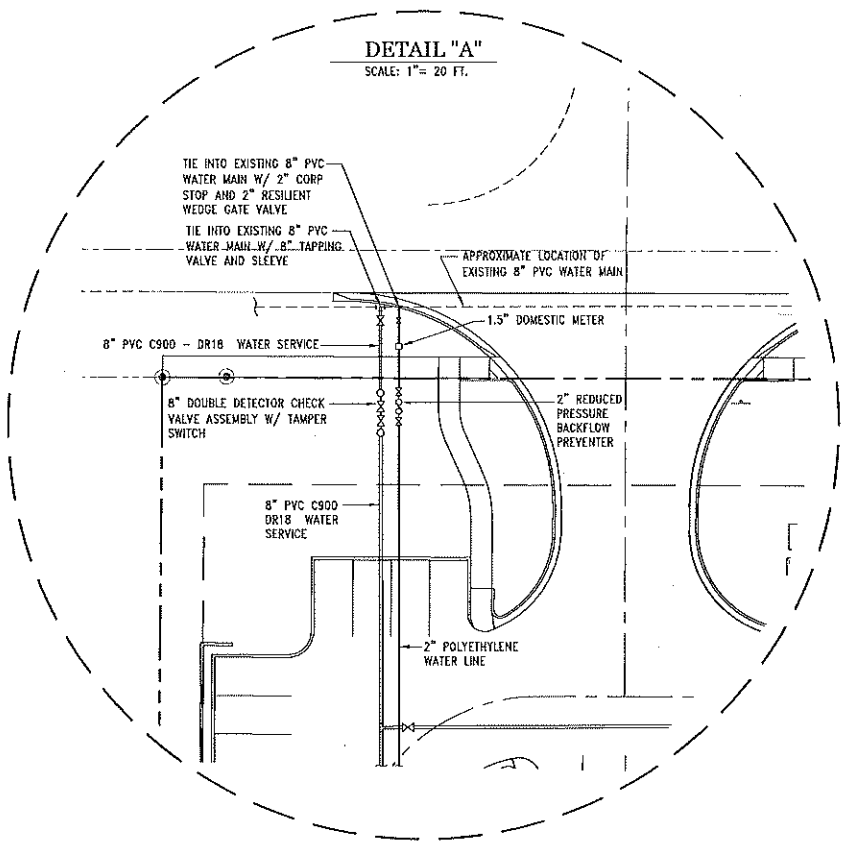
NFPA FIRE FLOW CALCULATIONS:

CONSTRUCTION TYPE:	TYPE IIB (FL. BLDG. CODE)
FIRE AREA:	15,135. SF.
MIN. REQUIRED FIRE FLOW:	2,500 GPM
75% SPRINKLER CREDIT:	2,500 X 0.25 = 625
SPRINKLER CREDIT:	
THEREFORE MIN. REQUIRED FIRE FLOW =	1000 GPM (MIN. FOR COMMERCIAL)
1 NEW HYDRANT WITHIN 60 FT.	

NOTE: FIRE DEPARTMENT LOCK BOX MUST BE PROVIDED NEAR FRONT DOOR.

UTILITY LEGEND:

(W)	2" POLYETHYLENE WATER LINE. REFER TO PLUMBING PLANS FOR CONTINUATION	(F)	6" FIRE SERVICE. REFER TO FIRE PROTECTION PLANS FOR CONTINUATION
(S)	6" SANITARY SERVICE. REFER TO PLUMBING PLANS FOR CONTINUATION. INV. = 126.00		



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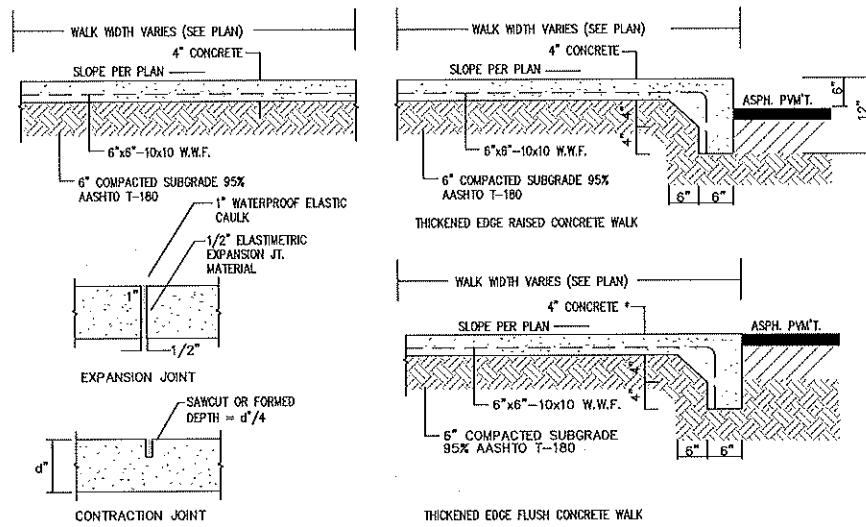
CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
UTILITY PLAN

revision	description	date
△	City Comments	03.26.18
△	City Comments	04.24.18
△		
△		
△		
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drawn by: ELI
checked by: SGW
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C500 Utility Plan - Carter Elec.dwg

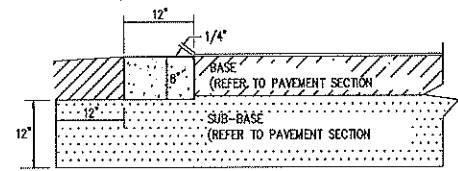
C 500

File Location: \\SBS1\Projects\Lead Projects 2017\DWG007 - Carter Elec.dwg

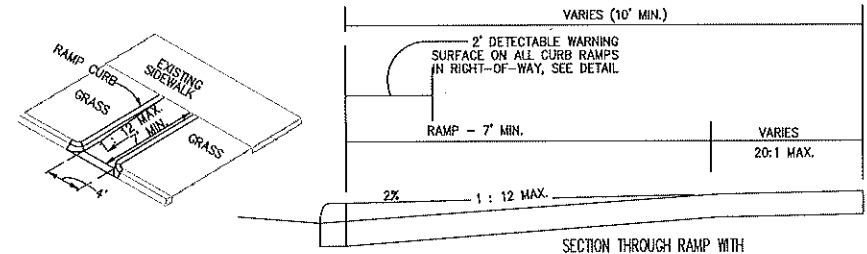


NOTE:
ALL CONCRETE SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 30 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 5 LINEAR FEET.

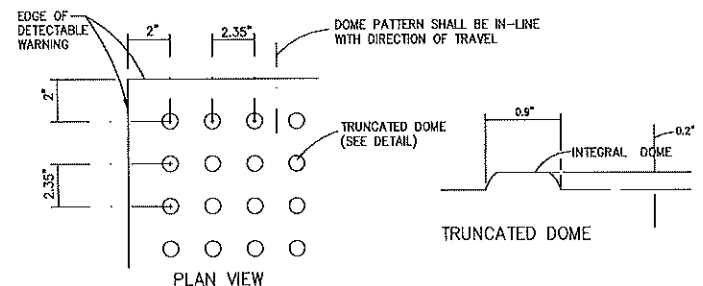
CONCRETE WALK DETAILS
N.T.S.



12" CONCRETE RIBBON CURB
N.T.S.

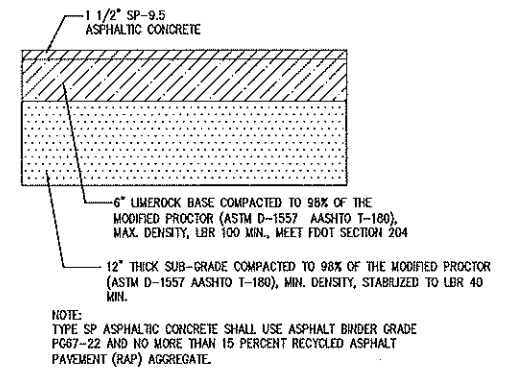


SECTION THROUGH RAMP WITH LANDING AT NORMAL SIDEWALK ELEVATION



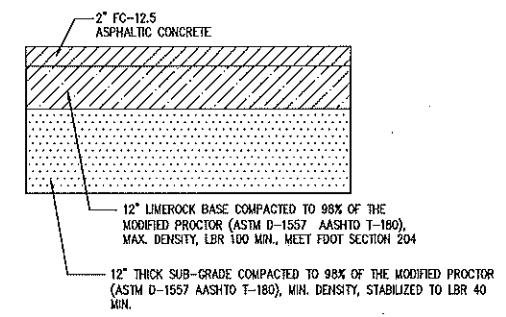
NOTE:
1. ALL SIDEWALK CURB RAMPS IN RIGHT-OF-WAY SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH 2' FROM THE BACK OF CURB.
2. DETECTABLE WARNING MATS SHALL BE SET IN CONCRETE.

CURB RAMP DETECTABLE WARNING SURFACE
CURB RAMP DETAILS
N.T.S.

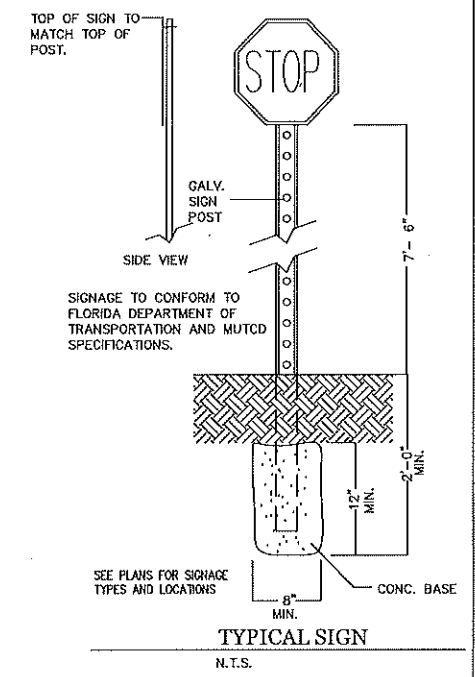


NOTE:
TYPE SP ASPHALTIC CONCRETE SHALL USE ASPHALT BINDER GRADE FG67-22 AND NO MORE THAN 15 PERCENT RECYCLED ASPHALT PAVEMENT (RAP) AGGREGATE.

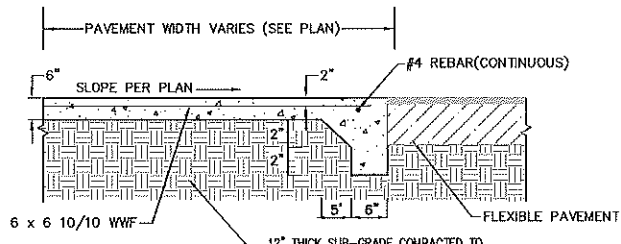
LIGHT-DUTY ASPHALT PAVEMENT SECTION
N.T.S.



HEAVY-DUTY ASPHALT PAVEMENT SECTION
N.T.S.



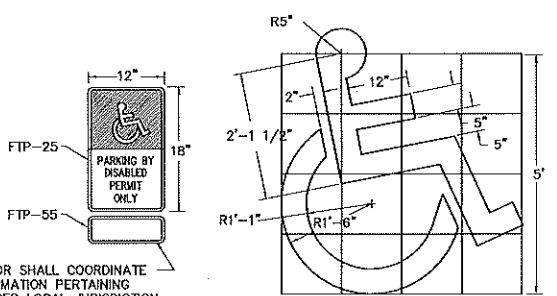
TYPICAL SIGN
N.T.S.



NOTES:
1. ALL CONCRETE PAVEMENT SHALL HAVE A FULL, 1/2" ISOLATION JOINT WHERE IT ABUTS EXISTING CONCRETE PAVEMENT AND OTHER RIGID STRUCTURES, SUCH AS BUILDING FOUNDATIONS AND WALLS. PROVIDE 2" SAW CUT OR DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 20 FEET.
2. PORTLAND CEMENT CONCRETE PAVEMENT TO BE 4,000-PSI COMPRESSIVE STRENGTH, MIN.

NOTES:
PROVIDE 18" OF CLEAN, FREE DRAINING SAND SUBGRADE BENEATH CONCRETE PAVEMENT. COMPACT BOTTOM 6" TO 98% OF THE MODIFIED PROCTOR (ASTM D-1557, AASHTO T-180).

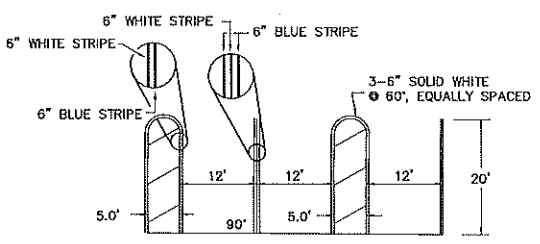
DUMPSTER PAD PAVEMENT DETAIL
N.T.S.



CONTRACTOR SHALL COORDINATE SIGN INFORMATION PERTAINING TO FINES PER LOCAL JURISDICTION (F.S. 316.1955, 31B.18)

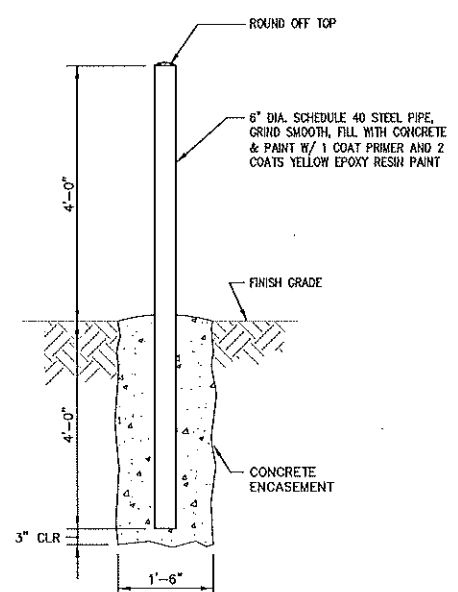
NOTES:
1. ALL LETTERS ARE 1" SERIES "C", PER MUTCD.
2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
4. ONE (1) SIGN IS REQUIRED FOR EACH PARKING SPACE.
5. HEIGHT OF SIGN SHALL BE 7'-6" FROM FINISHED GROUND TO BOTTOM OF SIGN.

HANDICAP PARKING SYMBOL
N.T.S.



NOTE:
1. HANDICAP SPACE IS TO BE OUTLINED IN A 6" BLUE PAINTED STRIPE.
2. PAINT CURB AND WHEEL STOP BLUE

TYPICAL HANDICAP PARKING SECTION
N.T.S.



BOLLARD DETAIL
N.T.S.

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CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
SITE DETAILS

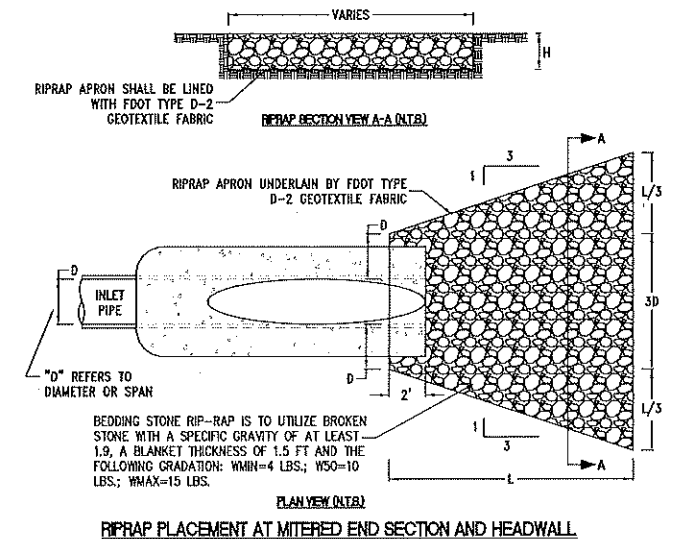
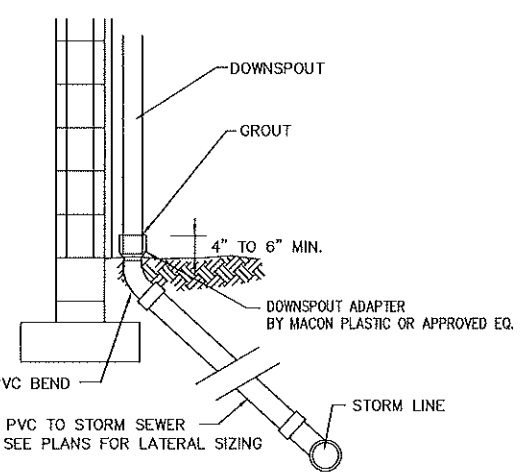
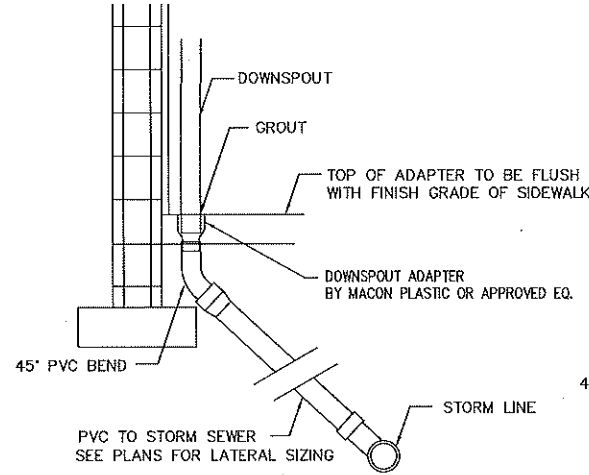
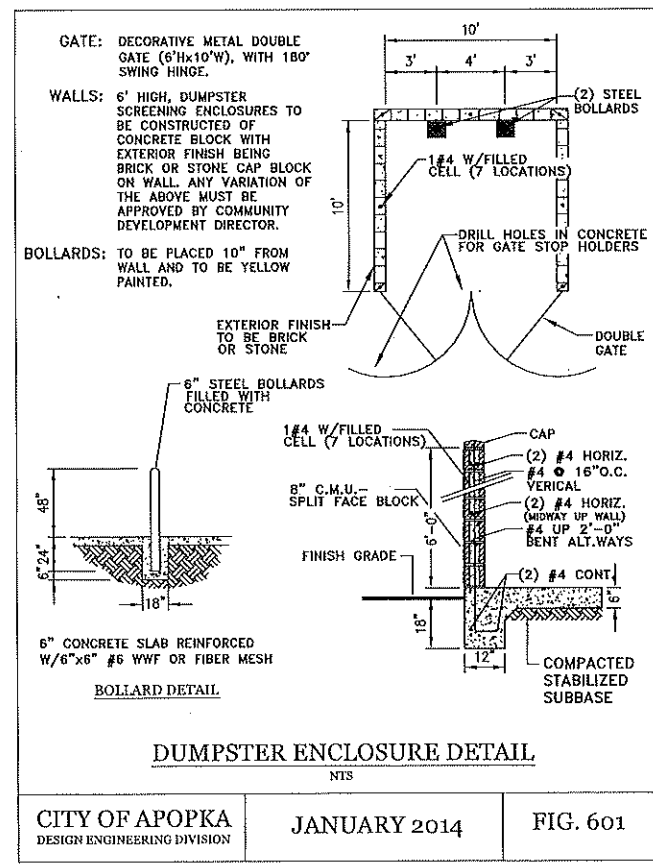
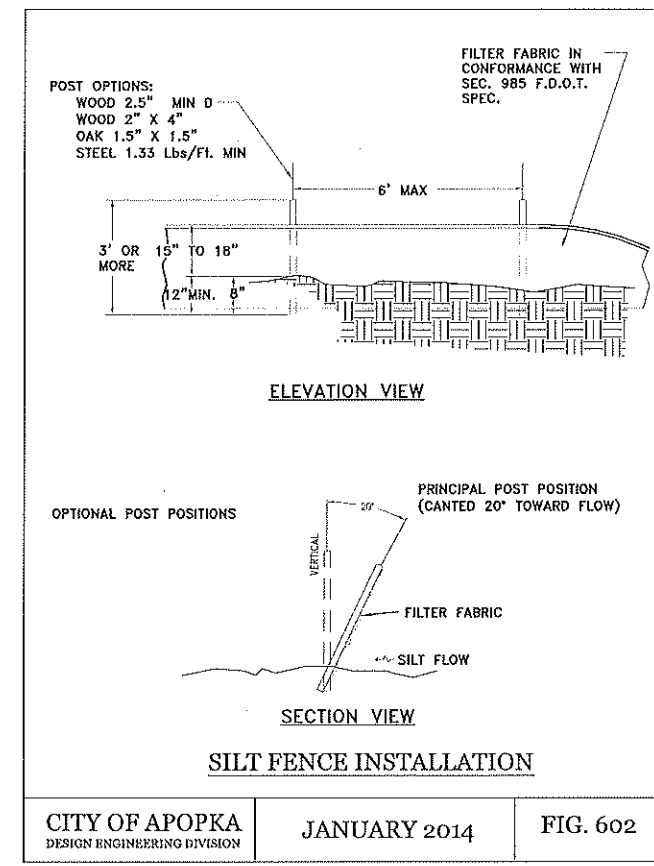
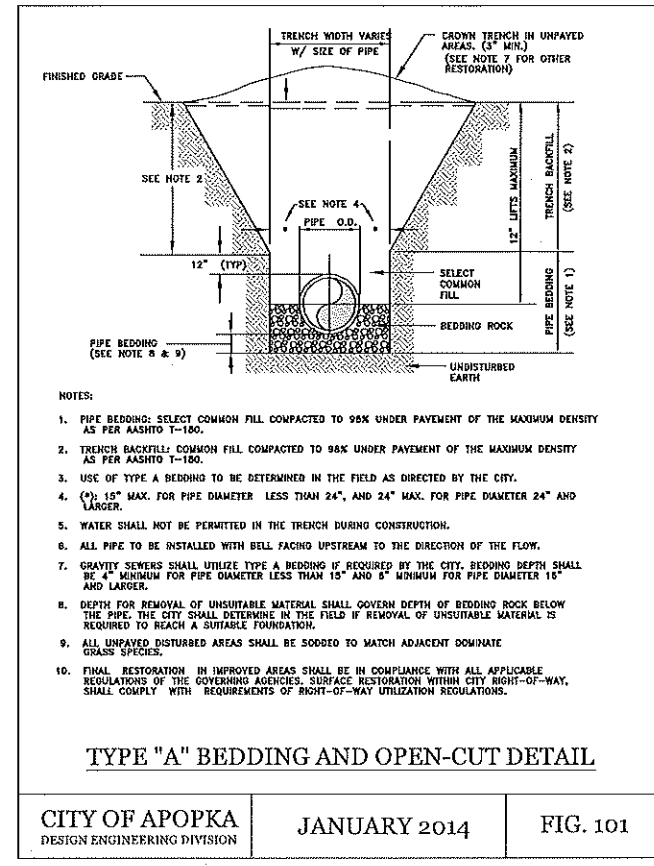
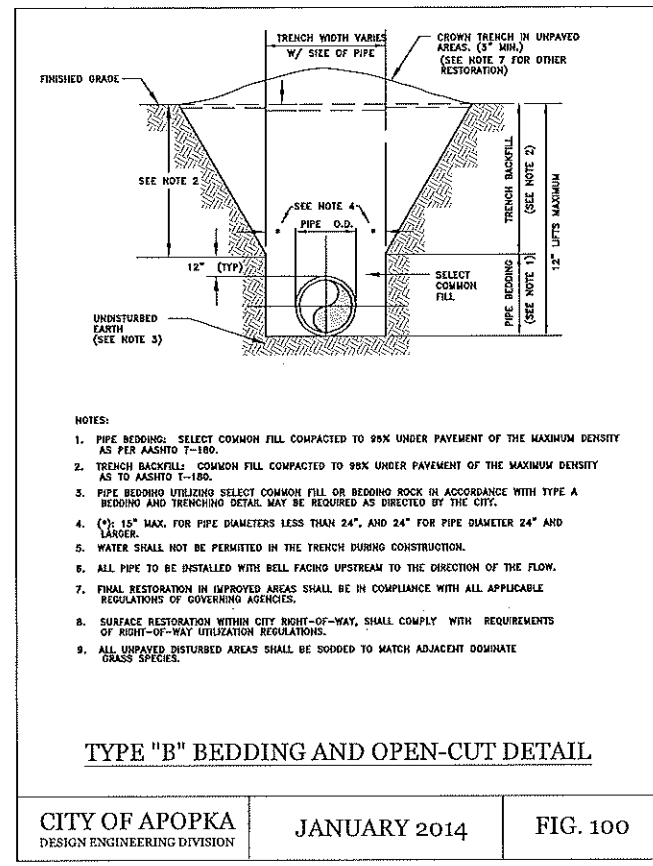
revision	description	date
△	City Comments	03.26.18
△	City Comments	04.24.18
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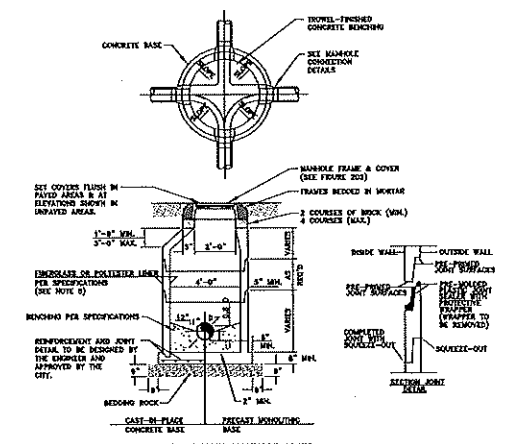
drawn by: ELI
checked by: SGV
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAN007
file name: C600 - C900 Series Details - Carter Electric

C 600

revision	description	date
△	City Comments	03.26.18
△	City Comments	04.24.18
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drawn by: ELI
checked by: SGV
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C700 - C700 Series Details - Carter Elec.dwg



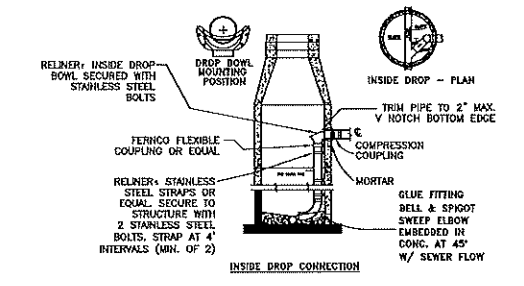


THICKNESS (INCHES)	DIAMETER (INCHES)	HEIGHT (FEET)	MATERIAL	MANUFACTURER
48	3-6	7-12	115-17	
60				
72				

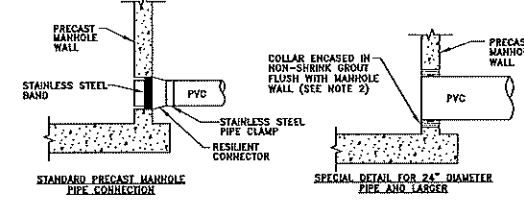
- NOTES:
- MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
 - DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
 - THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
 - EACH BENCH WALL SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
 - SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED WITH HDPE OR FIBERGLASS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 200



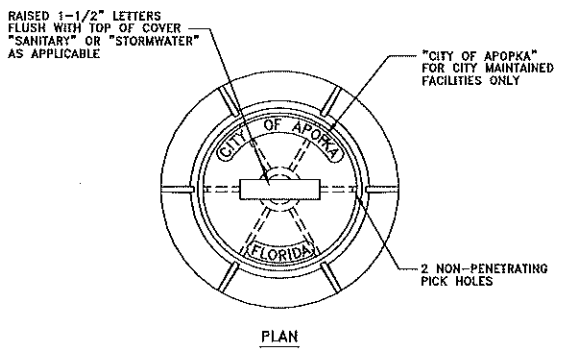
- NOTES:
- ALL DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAL, INC. 23 MT. ARBER RD. LIME, CT 06031 (860)434-0277 FAX: (860)434-3195 OR EQUAL.
 - SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAL AND STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.



- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - THE CITY MAY APPROVE ALTERNATE WATER-TIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
 - AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
 - CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

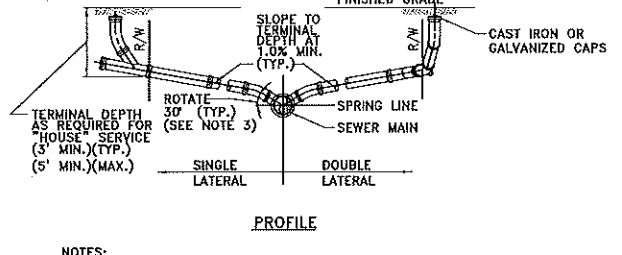
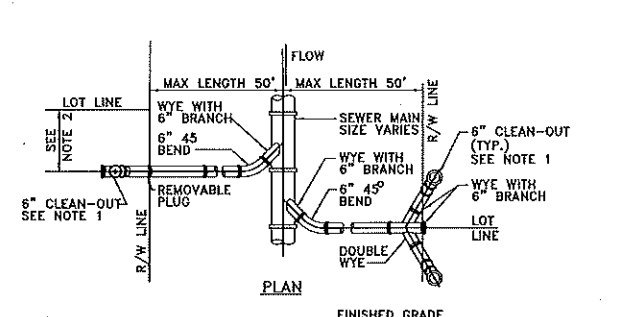
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 201



- NOTES:
- MAHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

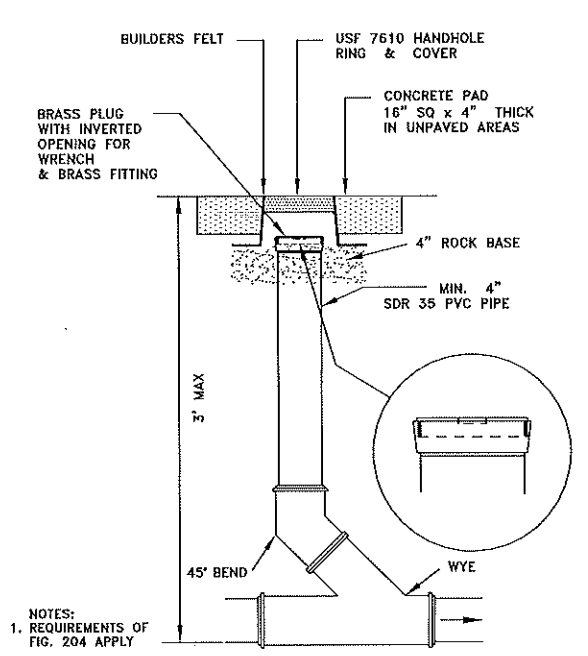
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 202



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
 - GALVANIZED, OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
 - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

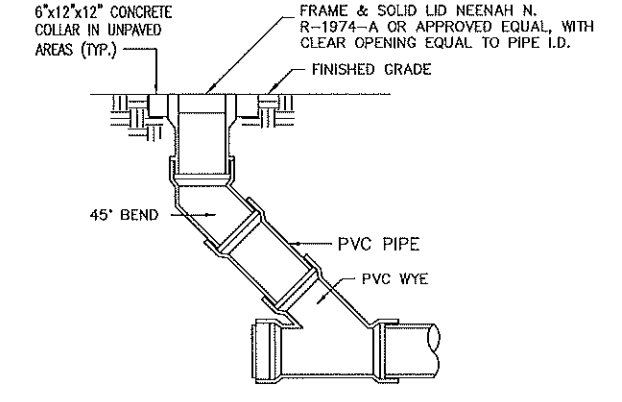
CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 204



- NOTES:
- REQUIREMENTS OF FIG. 204 APPLY

SANITARY SEWER SERVICE
TRAFFIC RATED
CLEAN-OUT DETAIL
N.T.S.

CITY OF APOPKA
DESIGN ENGINEERING DIVISION
JANUARY 2014
FIG. 205



CLEANOUT DETAIL
N.T.S.

revision	description	date
△	City Comments	03.26.18
△	City Comments	04.24.18
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drawn by: ELI
checked by: SGV
date: 02/27/2018
plot scale: AS SHOWN
project number: 17DAND007
file name: C700 - C700 Series Details - Carter Elec.dwg

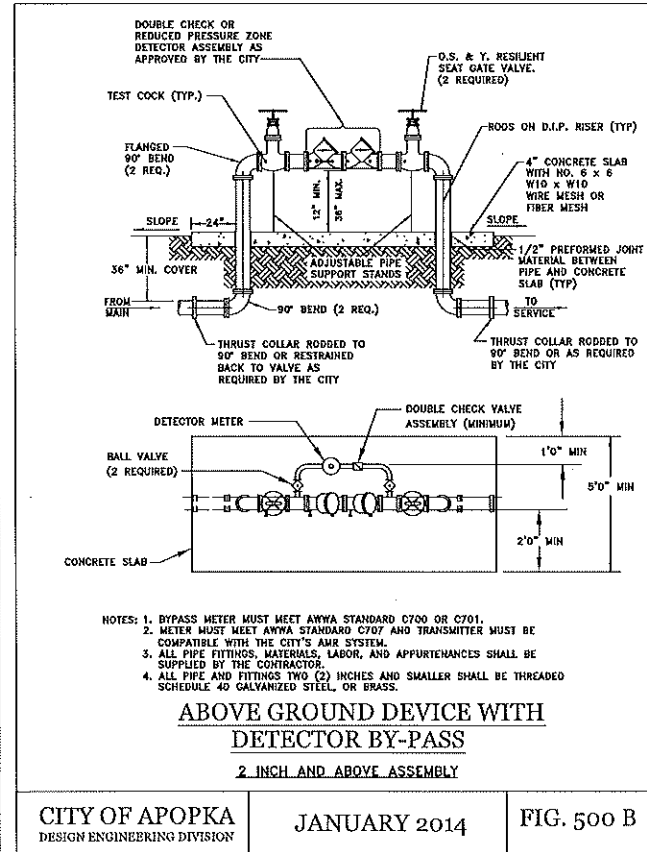
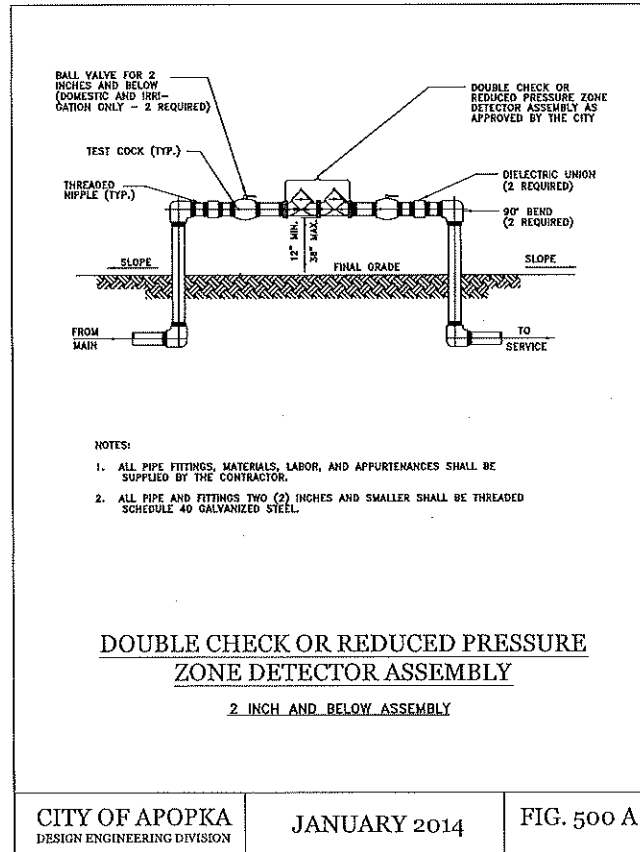
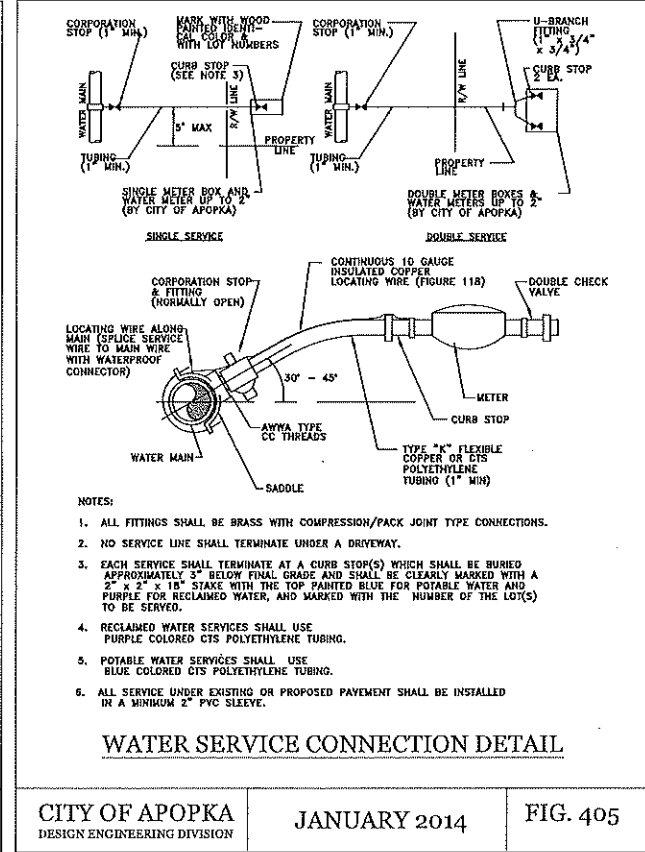
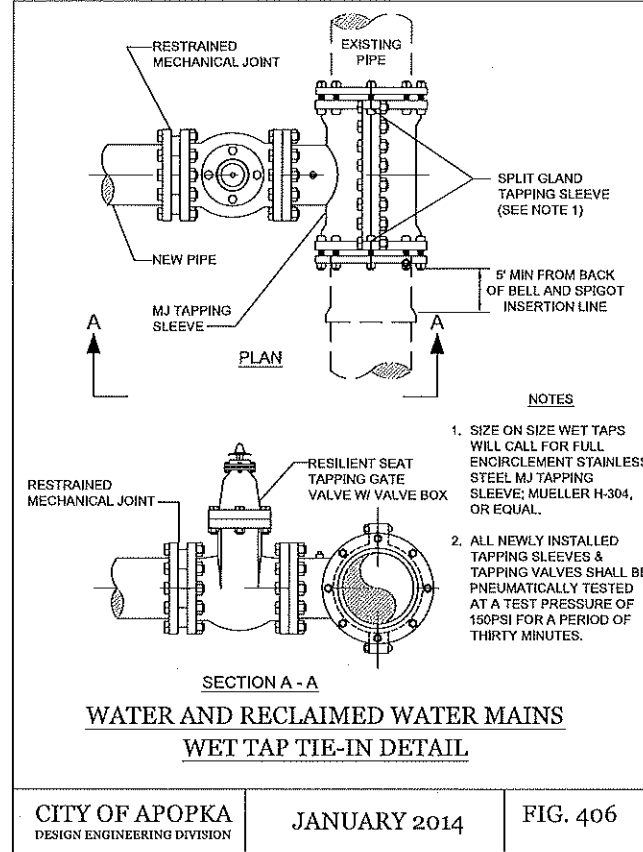
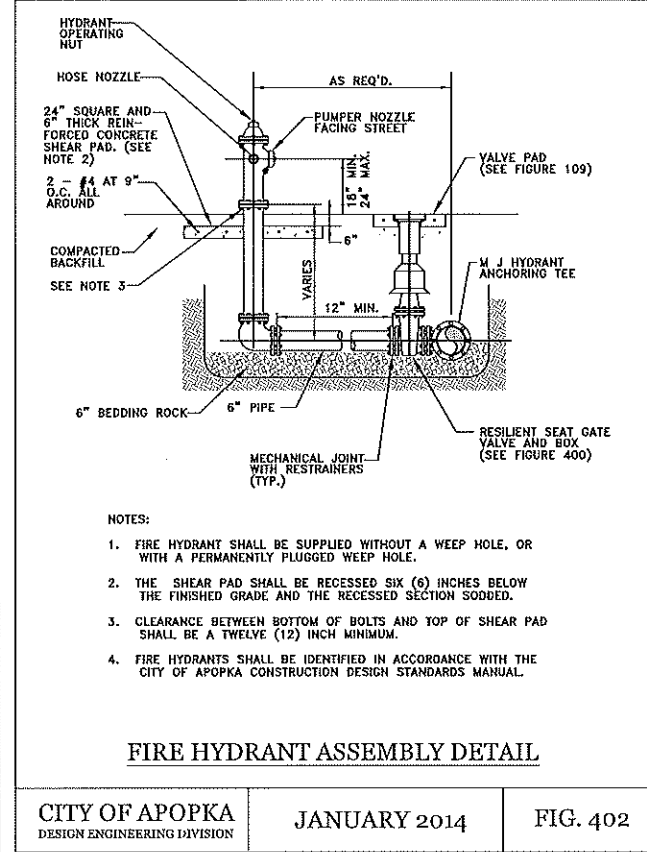
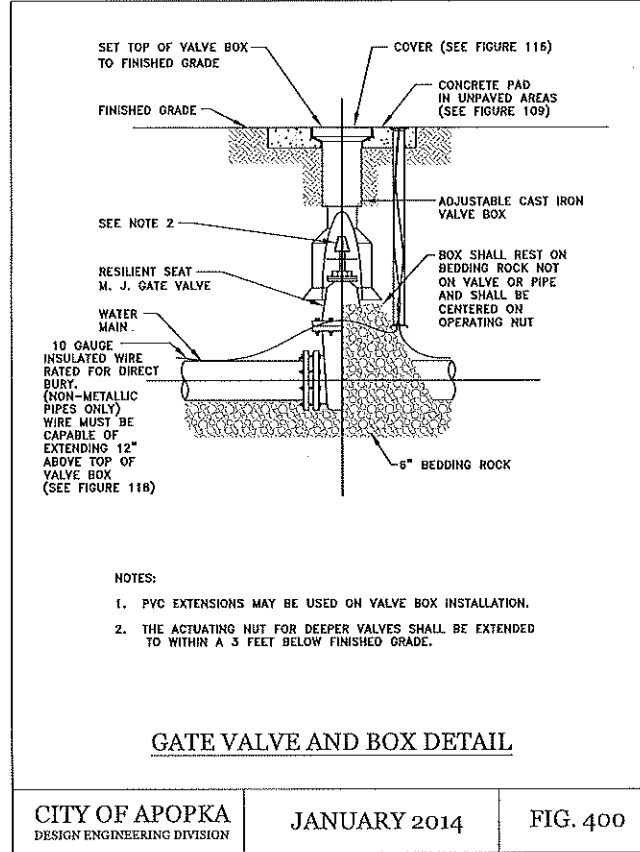
C 800

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CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
SANITARY DETAILS



RESTRAINED PIPE TABLE (PVC)

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE									
	6"	8"	10"	12"	16"	18"	20"	24"	30"	48"
90° BEND	33	43	51	60						
45° BEND	14	18	22	25						
22-1/2° BEND	7	9	11	12						
11-1/4° BEND	4	5	6	8						
TEE**	1	7	24	44						
REDUCER (ONE SIZE SMALLER)		41	39	40						
DEAD END	74	96	115	136						

* ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'

NOTES:

- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: SR(GARD)
LAYING CONDITIONS: 3
** FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
- FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

NOTE: RESTRAIN ALL JOINTS FOR DR-14 FIRE LINE.

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 105

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Selby G. Weeks 56991

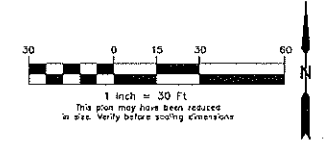
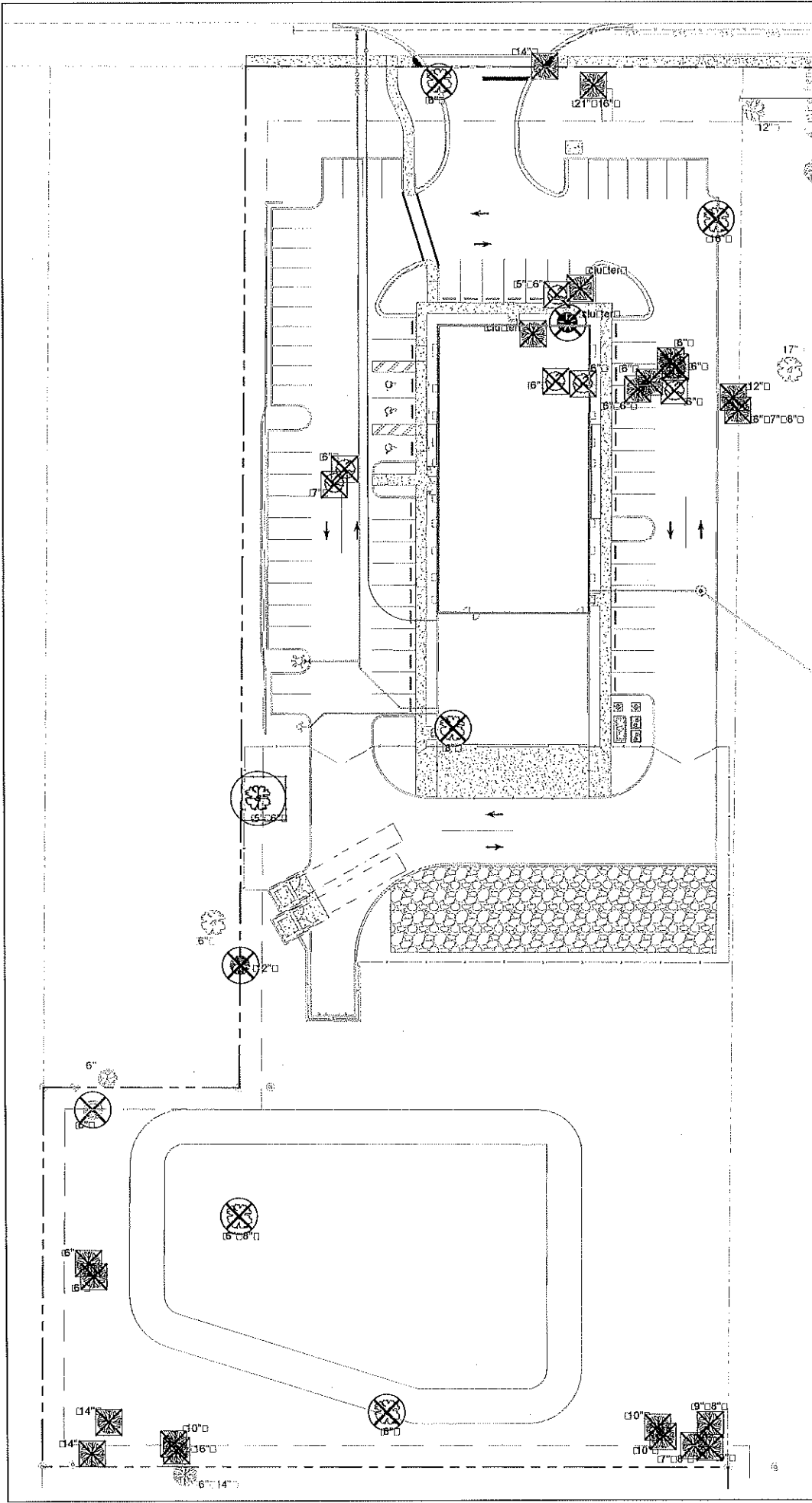
CARTER ELECTRIC
MARSHALL LAKE ROAD
APOPKA, FLORIDA
WATER DETAILS

revision	description	date
△	City Comments	03.26.18
△	City Comments	04.24.18
△		
△		
△		
△		

drawn by: ELJ
checked by: SGW
date: 02/27/2018
plot scale: AS SHOWN
project number: 171DAND007
file name: C900 - C900 Series Details - Carter Elec.dwg

C 900

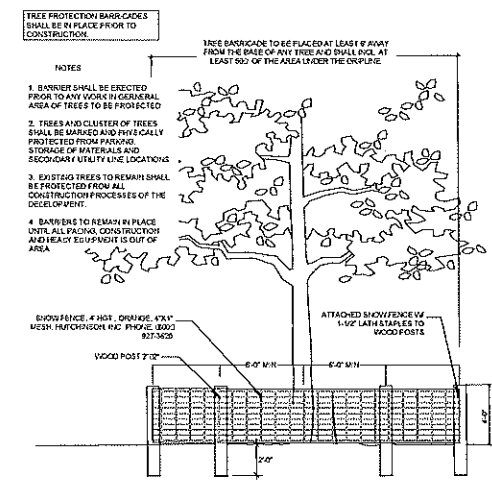
File Location: \\MSIT\Projects\Lead Project 2017\21040007 - Carter Electric.dwg



- Tree Note:**
- 18" □ - Diameter Tree measured at Chest Height
 - ☉ - Cherry Tree (NUISANCE TREE)
 - ☼ - Oak Tree
 - ☽ - Myrtle Tree
 - ☾ - Cedar Tree
 - ☿ - Callery Tree (NUISANCE TREE)
 - ♁ - Citrus Tree

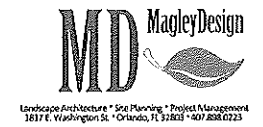
LEGEND

- ⊕ - TREE TO REMAIN (THERE ARE NO TREE TO REMAIN)
- - TREE TO REMAIN/ TREE BARRICADE (REFER TO DETAIL FOR ACTUAL DIMENSIONS FROM TRUNK)
- ⊗ - TREE TO BE REMOVED CALCULATIONS SHOWN
- ⊗ - TREE TO BE REMOVED MITIGATION NOT REQUIRED (NUISANCE TREE) CALCULATIONS NOT INCLUDED



1 TREE PROTECTION DETAIL Scale: N.T.S.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR CARTER ELECTRIC IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.



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FL#0001375

CARTER ELECTRIC

S BRADSHAW ROAD
APOPKA, FLORIDA

TREE MITIGATION PLAN

CARTER ELECTRIC 03 26 18

TREES REMOVED	
OAKS	6" 16" 8" 6+8" 8" 52" TOTAL
MYRTLE TREE (WAX MYRTLE)	12" 6" 18" TOTAL
CITRUS	14" 14" TOTAL (CLUSTER)
TOTAL INCHES REMOVED	84" TOTAL

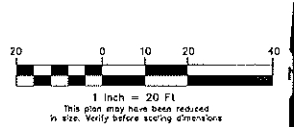
TREES TO REMAIN	
OAKS	5+6" 11" TOTAL

TOTAL INCHES ON SITE 95

TOTAL TREE INCHES ON SITE	95
TOTAL TREE INCHES REMOVED	84
TOTAL TREE INCHES REPLACED	174
MAXIMUM TREE STOCK FORMULA AND CALCS.	567"
QUANTITY OF SPECIMEN TREES (24" OR GREATER) REMOVED	0
SITE CLEARING AREA	162,136.72 SF
	3.72 AC
162,136.72-6,000=156,136.72/1,000=156.14 X 3.5"=546"±21"=567" MAX	

revision	description	date
△	CITY COMMENTS	03/26/18
△	CITY COMMENTS	04/18/18
△		
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△		

drawn by: MD
checked by: MKM
date: 01/31/2018
plot scale: AS SHOWN
project number: MD1806
file name:



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR CARTER ELECTRIC IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.



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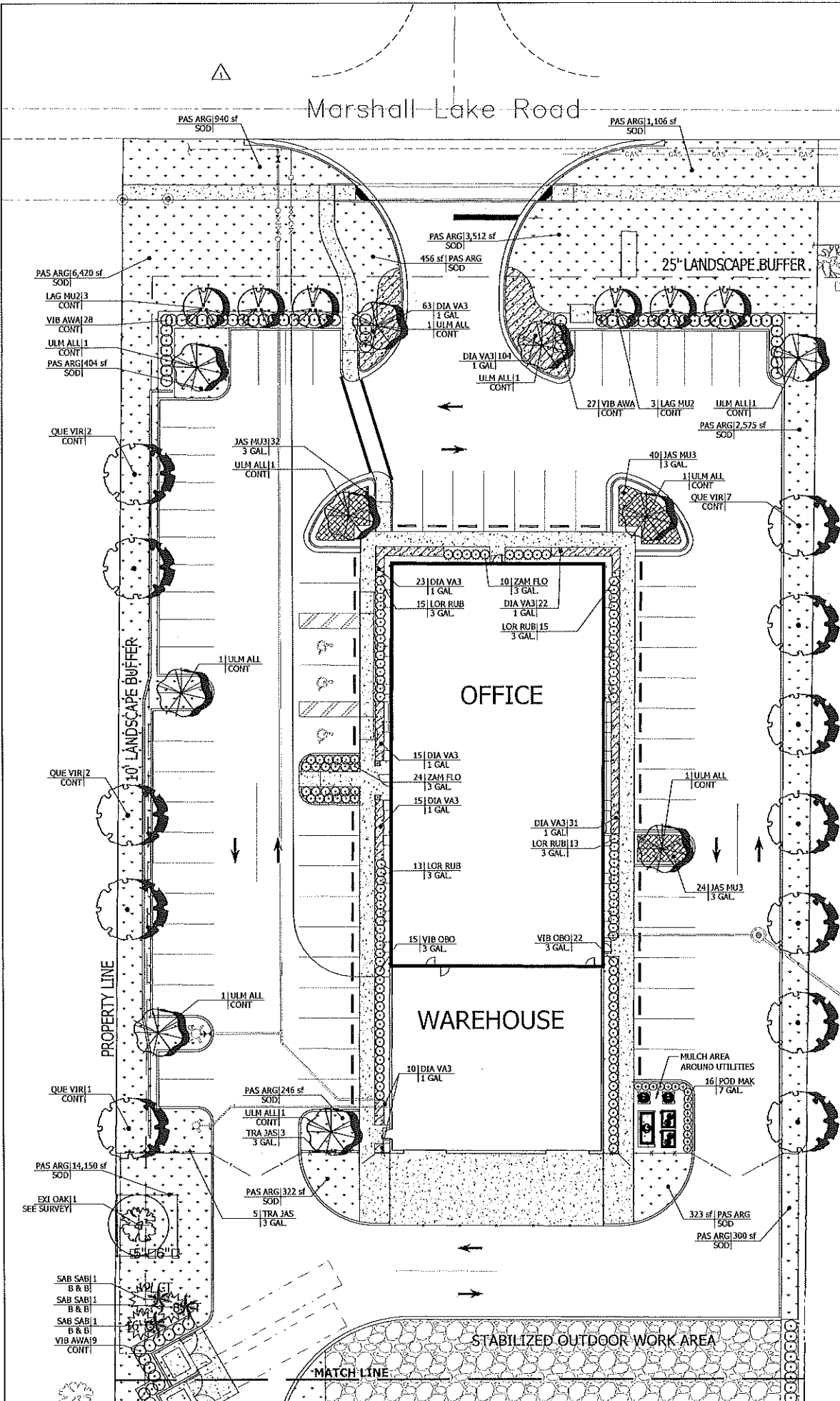
M. Katherine Magley, R.I.A.
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CARTER ELECTRIC
S BRADSHAW ROAD
APOPKA, FLORIDA
LANDSCAPE PLAN

revision	description	date
△	CITY COMMENTS	03/26/18
△	CITY COMMENTS	04/18/18
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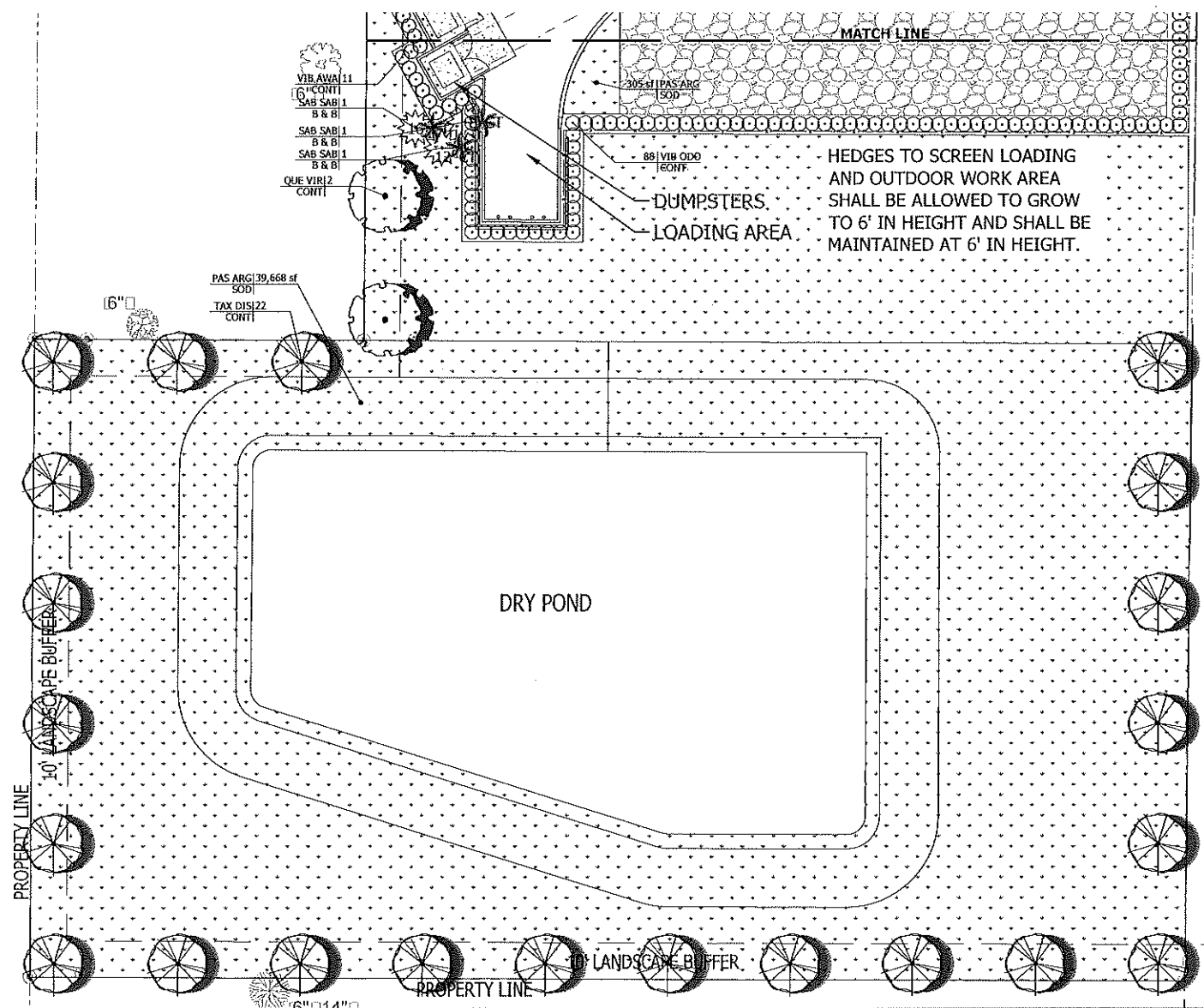
drawn by: MD
checked by: MKM
date: 01/31/2018
plot scale: AS SHOWN
project number: MD1806
file name:

L1



PROJECT SITE AREA=	162,136.72 SF 3.72 AC
SITE TREES REQUIRED= (IN ADDITION TO BUFFERS)	1 PER 8000 SF 162,136.72/8000= 20 TREES REQUIRED 27 TREES PROVIDED (2.5" DBH MIN. 8' MIN. HT.)
PARKING TREES REQUIRED=	1 PER 20 PARKING SPACES 71 PARKING SPACES PROVIDED 4 TREES REQUIRED 9 TREES PROVIDED 9 WINGED ELMS
BUFFER YARD TREES REQUIRED=	15,860 SF (NORTH, WEST, SOUTH) 3.5" DBH REQUIRED PER 1000 SF 15,860/1000*3.5 56" DBH REQUIRED 68.5" DBH PROVIDED 51 17 - 3" DBH BALD CYPRESS 17.5 7 - 2.5" DBH LIVE OAKS

CITY OF APOPKA LANDSCAPE NOTES:
1. ALL LANDSCAPE PLANTING SHALL BE PLANTED NO CLOSER THAN 2.5' FROM THE BUILDING BASE.



TYPICAL LANDSCAPE NOTES:

- ALL TREE CALIPER SIZES NOTED ARE MINIMUM. INCREASE SIZE OR ANY OTHER SPECIFICATIONS AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS.
- ALL CONTAINER SIZES NOTED ARE MINIMUM. INCREASE SIZE OF POT AS REQUIRED, PROVIDING MINIMUM PLANT SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.
- SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED FOR EACH PLANT BED. ALL PLANT QUANTITIES FOR PROPOSALS SHALL BE DERIVED SOLELY FROM DRAWINGS AND SPECIFICATIONS.
- SHRUB AND GROUND COVER SPACING IS INDICATED ON THE PLANT LIST AND SHALL APPLY FOR ALL "MASS PLANTING" BEDS.
- OWNERS REPRESENTATIVE MUST TAG AN EXAMPLE OF EACH PALM SPECIES ACCORDING TO THE SPECIFICATIONS IN THE PLANT LIST.
- SEE PLANT LIST DETAILS AND SPECIFICATIONS FOR FURTHER PLANTING INFORMATION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION WORK. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE LOCATION OF ALL PLANT MATERIAL IS SUBJECT TO FIELD CHANGE.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE IRRIGATION CONTRACTOR AND ALL OTHER TRADES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED UNTIL PLANT MATERIALS ARE WELL ESTABLISHED, TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL LANDSCAPE AREAS WHERE THE EXISTING OR PROPOSED IRRIGATION IS FOR WHATEVER REASON NOT OPERATING OR NOT OPERATING CORRECTLY.
- CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED AS DIRECTED DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, CURRENT EDITION.
- CONTRACTOR SHALL REMOVE EXISTING SOD AND/OR VEGETATION IN ALL AREAS TO BE PLANTED WITH SHRUB/GROUNDCOVERS AND/OR ALL AREAS TO BE MULCHED.
- CONTRACTOR SHALL REPLACE SOD IN ALL AREAS WHERE EXISTING VEGETATION IS REMOVED OR RELOCATED, WHERE EXISTING LAWN AREAS ARE DAMAGED BY HIS WORK, AND WHERE NEW VEGETATION IS INSTALLED (UNLESS OTHERWISE NOTED ON PLANS) WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING ALL SUCH AREAS TO BLEND BOTH ELEVATIONS AND SOD INTO EXISTING SURROUNDING LAWN AREAS.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPING WORK. FOR EVERY BLOCK SECTION OF STREET THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST THREE AREAS UNDISTURBED BY PREVIOUS WORK AND TWO AREAS DISTURBED AND/OR REFILLED. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE UNIT PRICES AS REQUESTED WHICH INCLUDE THE TOTAL COST OF THE WORK INCLUDING BUT NOT LIMITED TO ANY AND ALL COSTS FOR EQUIPMENT, MATERIAL, PRODUCTS, OVERHEAD, PROFIT, GUARANTEES, LABOR, INSTALLATION, ETC. TO PROVIDE A COMPLETE JOB AS OUTLINED ON THE DRAWINGS. THE OWNER SHALL HAVE THE OPTION TO ADD OR DEDUCT FROM THE LUMP SUM BID CONTRACT AMOUNT, BASED ON THE QUOTED UNIT PRICES FOR ANY OR THE ITEMS LISTED IN THE "PLANT LIST".
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN BY MEANS APPROVED BY THE OWNER/OWNER'S REPRESENTATIVE AND AS DETAILED IN THE DRAWINGS.
- CONTRACTOR SHALL CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- CONTRACTOR AND EMPLOYEE VEHICLE PARKING SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE. SHUTTLING OF EMPLOYEES TO THE PROJECT AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT DISRUPT OR CONFLICT IN ANY WAY WITH EXISTING TRAFFIC.
- CONSTRUCTION ACCESS SHALL BE INDICATED BY THE OWNER. COORDINATION OF HEAVY EQUIPMENT AND MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL TAKE WHATEVER MEANS THAT MAY BE NECESSARY TO FULLY UNDERSTAND ALL THE ACCESS ROUTES AND CONSTRUCTION SCHEDULES IN ORDER TO PROVIDE A COMPLETE AND FINISHED PROJECT ON SCHEDULE.
- PINE STRAW MULCH OR APPROVED EQUAL SHALL BE USED (CYPRESS MULCH NOT ALLOWED).

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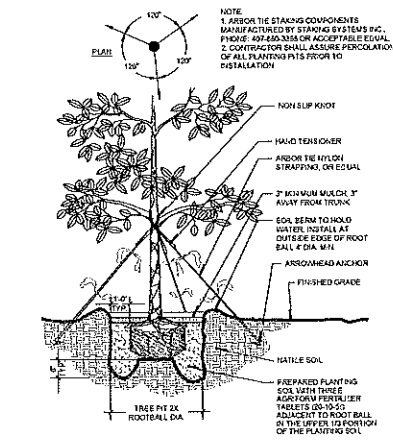
CARTER ELECTRIC

**S BRADSHAW ROAD
APOPKA, FLORIDA**

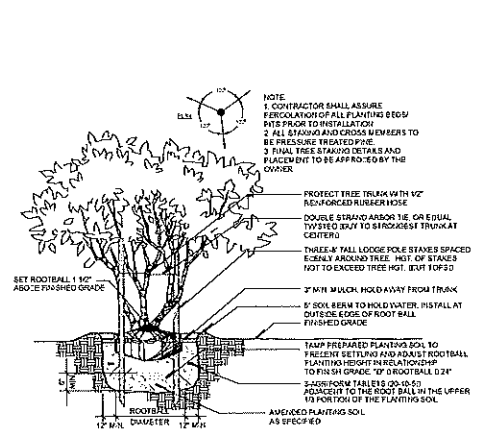
PLANT SCHEDULE, NOTES, DETAILS

PLANT SCHEDULE											
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
	LAG M2	6	LAGERSTROEMIA X 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	CONT.	-	8" H X 3" S	LOW-MEDIUM	NO	MULTI-TRUNK, FULL	
	QUE VIR	14	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	CONT.	2.5" DBH	10' HT MIN	LOW-MEDIUM	YES	SINGLE, STRAIGHT TRUNK, FULL	
	TAX DIS	22	TAXODIUM DISTICHUM	BALD CYPRESS	CONT.	3" DBH MIN.	10' HT MIN	MEDIUM-HIGH	YES	SINGLE, STRAIGHT TRUNK, FULL	
	ULM ALL	10	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	CONT.	2.5" DBH	12' HT MIN	LOW-MEDIUM	NO	SINGLE, STRAIGHT TRUNK, FULL	
EXISTING TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
	EXI OAK	1	EXISTING OAK	EXISTING OAK TO REMAIN	SEE SURVEY						
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
	SAB SAB	2	SABAL PALMETTO	CABBAGE PALMETTO	B & B	14" CAL	12' CT	MEDIUM	NO	HEAVY TRUNK, RETAIN BOOTS	
		2	SABAL PALMETTO	CABBAGE PALMETTO	B & B	14" CAL	16" CT	MEDIUM	NO	HEAVY TRUNK, RETAIN BOOTS	
		2	SABAL PALMETTO	CABBAGE PALMETTO	B & B	14" CAL	8" CT	MEDIUM	NO	HEAVY TRUNK, RETAIN BOOTS	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
	LOR RUB	56	LOROPETALUM CHINENSE VAR. RUBRUM RUBY	REDEAF CHINESE FRINGE BUSH	3 GAL.		14" H X 16" S	LOW	NO	FULL	
	POD MAK	16	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW	7 GAL.		36" H X 24" S	LOW-MEDIUM	NO	FULL	
	VIB OBO	37	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL.		22" H X 18" S	LOW	YES	FULL	
	VIB ODO	88	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	CONT.		36" HT MIN	LOW	NO	FULL, 42" OC MAX SPACING	
	VIB AWA	75	VIBURNUM ODORATISSIMUM 'AWABUKI'	AWABUKI VIBURNUM	CONT.		36" HT MIN	LOW	NO	FULL	
	ZAM FLO	34	ZAMIA FLORIDANA	COONTIE	3 GAL.		12" H X 12" S	LOW	YES	FULL	
WIPE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
	TRA JAS	8	TRACHELOSPERMUM JASMINOIDES	CHINESE STAR JASMINI	3 GAL.		18" OA	LOW-MEDIUM	NO	FULL, 5 RUNNERS MIN.	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	SPACING	REMARKS
	JAS M3	96	JASMINUM MULTIFLORUM	DOWNEY JASMINE	3 GAL.		18" H X 18" S	LOW	NO	30" o.c.	FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	SPACING	REMARKS
	DIA YA3	283	DIANELLA TASMANICA 'VARIEGATA'	FLAX LILY	1 GAL.		16" H X 16" S	LOW	YES	24" o.c.	FULL
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL/DBH	SPECIFICATION	WATER USAGE	NATIVE	SPACING	REMARKS
	PAS ARG	70,727 SF	PASPALUM NOTATUM 'ARGENTHE'	BAHIA GRASS	SOD			N/A	NO		CLEAN AND WEED FREE

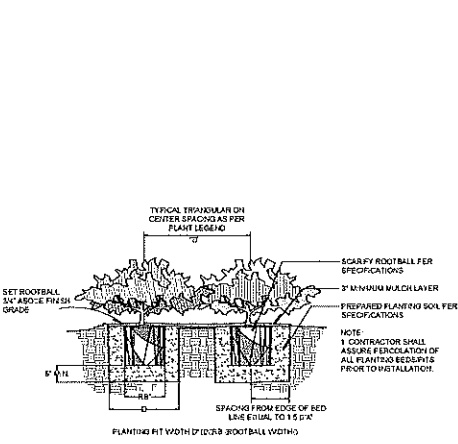
1 LANDSCAPE SCHEDULE



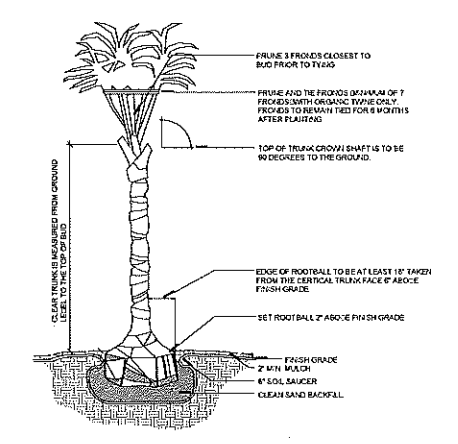
2 LARGE TREE PLANTING DETAIL Scale: N.T.S.



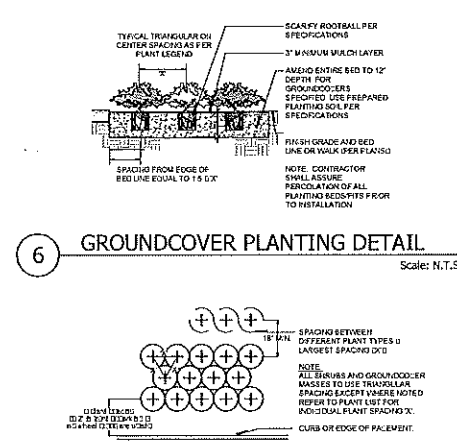
3 MULTI-TRUNK TREE PLANTING DETAIL Scale: N.T.S.



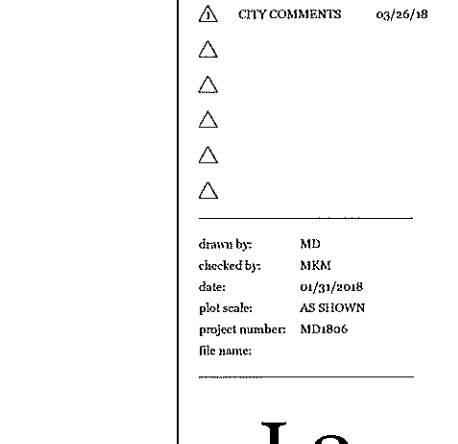
4 SHRUB PLANTING DETAIL Scale: N.T.S.



5 PALM PLANTING DETAIL Scale: N.T.S.



6 GROUND COVER PLANTING DETAIL Scale: N.T.S.

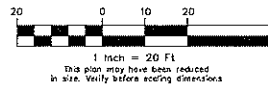


7 PLANT SPACING DETAIL Scale: N.T.S.

revision	description	date
1	CITY COMMENTS	03/25/18
2		
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7		

drawn by: MD
checked by: MKM
date: 01/31/2018
plot scale: AS SHOWN
project number: MD1806
file name:

L2



REFER TO L4 FOR IRRIGATION SCHEDULE AND NOTES.

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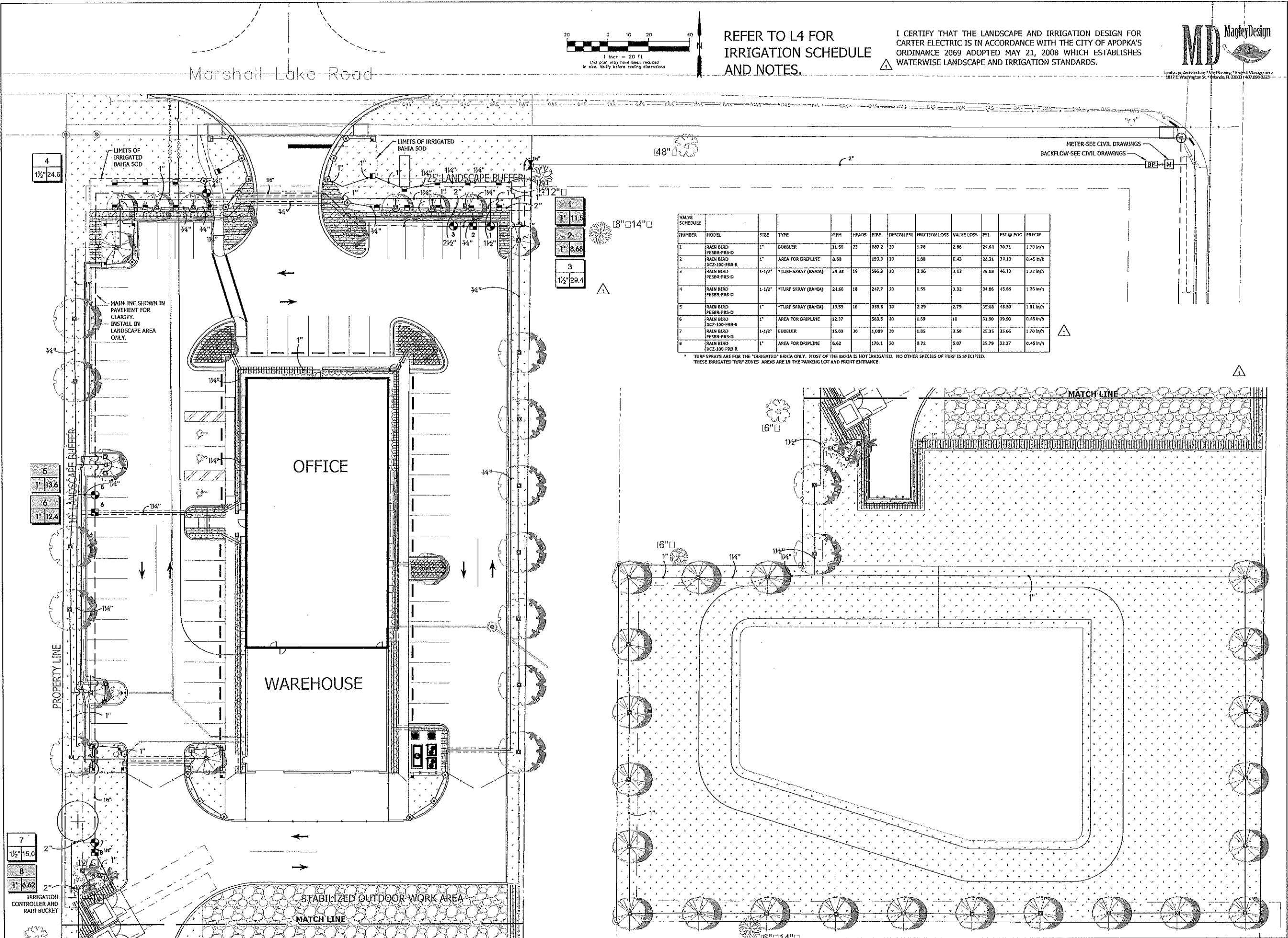
M. Katherine Magley, R.I.A.
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CARTER ELECTRIC
S BRADSHAW ROAD
APOPKA, FLORIDA
IRRIGATION PLAN

revision	description	date
△	CITY COMMENTS	03/26/18
△		
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file name:

L3



NUMBER	MODEL	SIZE	TYPE	GPM	HEAD	PIPE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	RAIN BIRD PESBR-PRS-D	1"	BUBBLER	11.90	23	1087.2	20	1.78	2.86	24.64	30.71	1.70 in/h
2	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRUPLINE	8.58	159.3	20	1.68	6.43	28.31	34.13	0.45 in/h	
3	RAIN BIRD PESBR-PRS-D	1-1/2"	*TURF SPRAY (BAHIA)	29.38	19	596.3	30	2.96	3.12	36.08	46.13	1.22 in/h
4	RAIN BIRD PESBR-PRS-D	1-1/2"	*TURF SPRAY (BAHIA)	24.60	18	247.7	30	1.55	3.32	34.86	45.86	1.25 in/h
5	RAIN BIRD PESBR-PRS-D	1"	*TURF SPRAY (BAHIA)	13.55	16	359.5	30	2.29	2.79	35.08	43.50	1.01 in/h
6	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRUPLINE	12.37	10	583.5	30	1.89	10	31.90	39.90	0.45 in/h
7	RAIN BIRD PESBR-PRS-D	1-1/2"	BUBBLER	15.00	30	1,059	20	1.85	3.50	25.35	35.66	1.70 in/h
8	RAIN BIRD XCZ-100-PRB-R	1"	AREA FOR DRUPLINE	6.62	178.1	30	0.72	5.07	25.79	32.27	0.45 in/h	

* TURF SPRAYS ARE FOR THE "IRRIGATED" BAHIA ONLY. MOST OF THE BAHIA IS NOT IRRIGATED. NO OTHER SPECIES OF TURF IS SPECIFIED. THESE IRRIGATED TURF ZONES ARE IN THE PARKING LOT AND FRONT ENTRANCE.

TYPICAL IRRIGATION NOTES:

1. UNLESS OTHERWISE NOTED, THE LIMITS OF CONSTRUCTION ARE AS INDICATED ON DRAWINGS.
2. ANY TREES TO REMAIN WITHIN LIMIT OF WORK SHALL BE VERIFIED IN THE FIELD AND PROTECTED FROM DAMAGES.
3. ALL PROJECT BASE INFORMATION PROVIDED BY THE OWNER.
4. REFER TO ENGINEERING DRAWINGS FOR ALL UTILITY LOCATIONS, AND VERIFY IN THE FIELD PRIOR TO COMMENCING WORK. REFER TO ENGINEERING DRAWINGS FOR FINAL GRADING AND SPOT ELEVATIONS. VERIFY IN THE FIELD PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR, PRIOR TO BEGINNING ANY UNDERGROUND EXCAVATION, DIGGING, OR BORING MUST FIRST OBTAIN ALL REQUIRED PERMITS. WORK IS NOT AUTHORIZED PRIOR TO THE ISSUANCE OF PERMIT(S). THE CONTRACTOR SHALL COMPLY WITH FL 77-153 REGARDING NOTIFICATIONS OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTICE SHALL BE FURNISHED TO THE OWNER PRIOR TO EXCAVATING. THE CONTRACTOR SHALL COORDINATE FULLY WITH THE OWNER FOR ALL EXCAVATION PERMITS AND NOTIFICATIONS NECESSARY PRIOR TO INITIATING ALL WORK.
6. VERIFY GALLONAGE AND PRESSURE AVAILABILITY AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WITH THE INSTALLATION.
7. POP-UP SPRINKLER HEADS AND LATERALS SHALL BE INSTALLED 6" FROM EDGE OF PAVEMENT OR WALKS AND FLUSH WITH FINISH GRADE.
8. THE LOCATION OF ALL CONTROLLERS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE POWER SOURCE AND SERVICE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE THE INSTALLATION, LOCATION, AND CONNECTION OF THE TELEPHONE COMMUNICATION WIRE AND SERVICE WITH THE OWNER'S REPRESENTATIVE AND THE COMMUNICATIONS PROVIDER PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO FULLY COORDINATE AND INTEGRATE THE OPERATION SCHEDULE OF THE IRRIGATION CONTROL SYSTEM PER THE OWNER'S REPRESENTATIVE'S DIRECTION AND APPROVAL.
12. FIELD ALTERATIONS MADE IN THE IRRIGATION CONTRACT DRAWINGS MUST BE IN THE BEST INTEREST OF THE PLANT MATERIAL, SOD AND LANDSCAPE IRRIGATION SYSTEM. CHANGES MADE BY THE IRRIGATION CONTRACTOR SHALL BE APPROVED BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. NO MATERIAL SUBSTITUTIONS ARE ALLOWED. ANY ALTERATION DEEMED BY THE OWNERS REPRESENTATIVE NOT IN CONFORMANCE WITH THE ABOVE CRITERIA SHALL BE REMOVED AND REPLACED AT THE IRRIGATION CONTRACTOR'S EXPENSE. IF QUESTIONS ARISE AS TO THE BEST WAY TO COMPLETE A FIELD ALTERATION, CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL.
14. THE LOCATION OF ALL PLANT MATERIAL SHALL BE FIELD STAKED BY THE LANDSCAPE CONTRACTOR FOR APPROVAL BY THE OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE IRRIGATION SYSTEM.
15. HIGH POP-UP SPRAYS SHALL BE UTILIZED AS REQUIRED:
 - a. IN PLANTING BEDS WHERE SPRAY HEAD IS IN LOW PLANTING OR GROUND COVER (MATURE PLANT HEIGHT IS 1" - 18").
 - b. IN PARKING ISLANDS CONTAINING GROUND COVER PLANTING.
 - c. WHERE IT IS ADVANTAGEOUS TO CONCEAL SPRINKLER HEADS DUE TO HIGH PEDESTRIAN TRAFFIC, VISIBILITY, VANDALISM AND MAINTENANCE, INSTALL SPRAY HIGH POP-UP RISER SO THAT HIGH POP-UPS SPRING ABOVE PLANT MATERIAL.
16. CHANGES IN HEAD PLACEMENT OR A SPRAY SUBSTITUTION SHOULD ALWAYS TAKE INTO CONSIDERATION:
 - a. WHAT IS BEST FOR THE GROWTH AND MAINTENANCE OF THE SOD AND PLANT MATERIAL.
 - b. MAINTAINING A CONSTANT AND EVEN WATER DISTRIBUTION AND PRECIPITATION RATE (I.E., NEVER PUT ROTORS AND SPRAYS IN SAME ZONE)
17. INSTALL ALL CONNECTED PIPING SHOWN BETWEEN DIFFERENT PIPE SIZES LABELS AS THE LARGER OF THE TWO SIZES OF PIPE.
18. INSTALL ALL PIPING TO INDIVIDUAL SPRAY HEADS AND BUBBLERS AS 3/4"
19. EACH TYPE OF ZONE IS TO BE PIPED SEPARATELY. DO NOT INTERCONNECT DIFFERENT TYPES OF ZONES (I.E., ROTORS AND SPRAYS).
20. ANY IRRIGATION ITEMS NORMALLY INSTALLED IN LANDSCAPE AREAS THAT ARE SHOWN OUTSIDE OF LANDSCAPE AREAS OR OUTSIDE OF PROPERTY LINES ARE SHOWN AS SUCH FOR GRAPHIC CLARITY ONLY. INSTALL THESE ITEMS INSIDE OF PROPERTY LINES AND IN LANDSCAPE AREAS.
21. PROVIDE PROOF TO THE LANDSCAPE ARCHITECT THAT ALL AVAILABLE MAINTENANCE MANUALS FOR EACH OF THE PRODUCTS INCLUDED IN THIS INSTALLATION HAVE BEEN PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
22. VALVES ARE SHOWN OUTSIDE OF PLANT BEDS FOR GRAPHIC CLARITY. INSTALL ALL VALVES AND VALVE BOXES IN LAWN AREAS, NOT PLANTING BEDS.
23. THE CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CODES, INCLUDING THOSE REGARDING SEPARATION DISTANCE MINIMUMS FOR POTABLE WATER VERSUS EFFLUENT WATER AND SHALL INSTALL THE SYSTEM IN ACCORDANCE WITH THOSE CODES.
24. INSTALL 12" POP-UP SPRAY HEADS AT FINISHED GRADE IN ALL GROUND COVER AREAS.
25. INSTALL ALL SPRAYHEADS IN SHRUB BEDS ON RISERS ALONG BUILDING SIDEWALLS.
26. SPACE ALL SPRAY HEADS AT A MAXIMUM OF 55% OF THEIR EFFECTIVE COVERAGE DIAMETER OR CLOSER WHERE SHOWN AS SUCH ON THE PLANS.
27. ALL BAHIA SOD WILL NOT BE IRRIGATED, UNLESS SHOWN OTHERWISE. CONTRACTOR WILL BE RESPONSIBLE FOR HAND WATERING UNTIL IT IS WELL ENOUGH ESTABLISHED TO SURVIVE THROUGH THE WARRANTY PERIOD.

REMOVED NOTE IS REFERRED TO HEREAS REPRODUCED NOTES FROM 15-26.



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR CARTER ELECTRIC IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.



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M. Katherine Magley, RLA
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CARTER ELECTRIC
S BRADSHAW ROAD
APOPKA, FLORIDA
IRRIGATION SCHEDULES & NOTES

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	GPH	RADIUS
⊠	RAIN BIRD 1806-SAN-PAS-HP 10 SERIES HPA TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-HOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	4	360	0.79	10'
◇	RAIN BIRD 1806-SAN-PAS-HP 12 SERIES HPA TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-HOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	5	90	0.65	12'
⊠	RAIN BIRD 1806-SAN-PAS-HP 15 SERIES HPA TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-HOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	17	360	1.85	15'
◇	RAIN BIRD 1806-SAN-PAS-HP 15 SERIES HPA TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-HOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	31	90	0.92	15'
⊠	RAIN BIRD 1806-SAN-PAS-HP HE-VARI SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-HOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, PRESSURE REGULATING, AND NON POTABLE PURPLE CAP.	16	ADJ		15'
⊠	RAIN BIRD 1800-160 FLOOD FIXED FLOW RATE (0.25 LOGGPH), FULL CIRCLE BUBBLER, 1/2" FIPT.	53	360	0.50	7'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	GPH	RADIUS
⊠	RAIN BIRD XCC-100-PBB-R 1" VIBES FLOW CONTROL KIT FOR COMMERCIAL APPLICATIONS. PURPLE CAP DESIGNATES FOR RECLAIMED WATER, NON-POTABLE USE. 1" FESER VALVE AND 1" PRESSURE REGULATING 40PSI BASKET FILTER. 0.3GPM TO 20GPM. VALVE BOX AND LID SHALL BE PURPLE.	3			
⊠	RAIN BIRD PCT SINGLE OUTLET EMITTER THREADED COMPENSATING LOW-FLOW BUBBLERS. OFFERED IN 5 GPH, 7 GPH, AND 10 GPH MODELS. WITH 1/2" NPT THREADED INLET. LIGHT BROWN = 5 GPH, VIOLET = 7 GPH, AND GREEN = 10 GPH.	10			
	AREA TO RECEIVE DRIPLINE RAIN BIRD XPD-PG-18 (18) XPD ON-SURFACE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. PURPLE TUBING FOR NON-POTABLE WATER. SPECIFY XE INSERT FITTINGS.	5,426 S.F.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	GPH	RADIUS
⊠	RAIN BIRD PESR-PAS-D 1-1/2" 1", 1-1/2", AND 2" DURABLE CHLORINE RESISTANT VALVES FOR RECLAIMED WATER APPLICATIONS. WITH SCRUBBER MECHANISM TECHNOLOGY, PURPLE FLOW CONTROL HANDLE, AND PRESSURE REGULATOR MODULE. VALVE BOX AND LID SHALL BE PURPLE.	3			
⊠	RAIN BIRD PESR-PAS-D 1" 1", 1-1/2", AND 2" DURABLE CHLORINE RESISTANT VALVES FOR RECLAIMED WATER APPLICATIONS. WITH SCRUBBER MECHANISM TECHNOLOGY, PURPLE FLOW CONTROL HANDLE, AND PRESSURE REGULATOR MODULE. VALVE BOX AND LID SHALL BE PURPLE.	2			
⊠	BUCKET-SUPERIOR AV 3/4", 1", 1-1/4", 1-1/2", AND 2" RED BRASS ANGLE SHUT OFF VALVES WITH CROSS HANDLE. SIZE PER HANDLE. INSTALLED IN A TRAFFIC RATED VALVE BOX.	1			
⊠	SEE CIVIL DRINGS 1 1/2" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER. INSTALLED BY OTHERS. SHOWN FOR INFORMATION ONLY.	1			
⊠	RAIN BIRD ESPR-SMTE WITH (1) ESP-SM 15 STATION OUTDOOR SMART MODULAR CONTROL SYSTEM FOR RESIDENTIAL AND LIGHT COMMERCIAL USE. WALL MOUNT, TIPPING BUCKET RAIN SENSOR THAT MEASURES RAINFALL.	1			
⊠	WATER METER 2" INSTALLED BY OTHERS. POC IS AT THE CORNER OF MARSHALL LAKE ROAD AND SOUTH BRADSHAW ROAD. EXISTING 20" DIP RECLAIMED WTR COR STOP 2" METERS 1" 60/1" POLYETHYLENE LINE TO PROJECT AREA. SEE CIVIL PLANS FOR EXACT LOCATION AND DETAILS.	1			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 3/4"	2,481 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 1"	1,006 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 1 1/4"	397.5 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 1 1/2"	140.6 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 2"	65.4 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26-HP 2 1/2"	8.9 L.F.			
	IRRIGATION MAINLINE: PVC SCHEDULE 40-HP 1 1/2"	573.1 L.F.			
	IRRIGATION MAINLINE: POLYETHYLENE PIPE SDR-7-HP 2" INSTALLED BY OTHERS. SHOWN FOR INFORMATION ONLY.	383.0 L.F.			
	PIPE SLEEVE: PVC SCHEDULE 40 PURPLE EXTENDED 12" BEYOND PAVEMENT. SIZE 2X PIPE SIZE	167.8 L.F.			

- CITY OF APOPKA IRRIGATION NOTES:**
1. ALL IRRIGATION VALVE BOXES SHALL BE PURPLE IN COLOR.
 2. NO RISERS PERMITTED.
 3. ALL IRRIGATION DISTRIBUTION ITEMS MUST BE 24" FROM VERTICAL STRUCTURES.
 4. ANY LANDSCAPE AREA LESS THAN 4' SHALL BE IRRIGATED WITH LOW VOLUME IRRIGATION (DRIP OR MICRO SPRAYS).
 5. SYSTEM IS DESIGNED AND INSTALLED AT A PRESSURE OF 40PSI.
 6. MATCHED PRECIPITATION RATE REQUIRED FOR EACH ZONE.
 7. WATER CONVEYANCE SYSTEMS HAVE A VELOCITY OF 5 fps (FEET PER SECOND) OR LESS.
 8. SYSTEM INSTALLED AT 6" OR GREATER IN DEPTH.
 9. CONTROLLER WILL HAVE A TAG OR STICKER WITH INSTALLATION DATE, INSTALLER NAME, ZONE CHART, AND PROPER IRRIGATION WATERING DAYS AND TIMES.
 10. MAINTENANCE SCHEDULE WILL BE PROVIDED TO THE OWNER.

AREA OF LOW VOLUME IRRIGATION:
TOTAL IRRIGATED LANDSCAPE AREA: 10,679 SF
TOTAL TURF IRRIGATED AREA: 5,253 SF (49%)
TOTAL DRIP ZONE IRRIGATED AREA: 5,426 SF (51%) WHERE 25% IS REQUIRE

CRITICAL ANALYSIS

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P.O.C. NUMBER: 01

Water Source Information: INSTALLED BY OTHERS. POC IS AT THE CORNER OF MARSHALL LAKE ROAD AND SOUTH BRADSHAW ROAD. EXISTING 20" DIP RECLAIMED WTR COR STOP 2" METERS 1" 60/1" POLYETHYLENE LINE TO PROJECT AREA. SEE CIVIL PLANS FOR EXACT LOCATION AND DETAILS.

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available: 77.18 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 50.00 psi
Elevation Change: 5.00 ft
Service Line Size: 2"
Length of Service Line: 5.00 ft
Pressure Available: 48.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 29.18 gpm
Flow Available at POC: 77.18 gpm
Residual Flow Available: 47.79 gpm

Critical Station: 3
Design Pressure: 30.00 psi
Friction Loss: 2.69 psi
Fittings Loss: 0.27 psi
Elevation Loss: 0.00 psi
Loss through Valve: 3.12 psi
Pressure Req. at Critical Station: 36.07 psi
Loss for Frittings: 0.39 psi
Loss for Main Line: 3.89 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 5.00 psi
Loss for Water Meter: 0.78 psi
Critical Station Pressure at POC: 46.13 psi
Pressure Available: 48.00 psi

NUMBER	MODEL	SIZE	TYPE	GPH	HEADS	PIPE	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
1	RAIN BIRD PESR-PAS-D	1"	BUBBLER	11.90	23	807.2	20	1.78	2.66	24.64	30.71	1.70 in/h
2	RAIN BIRD XCC-100-PBB-R	1"	AREA FOR DRIPLINE	8.68		159.1	20	1.88	6.43	28.31	34.13	0.45 in/h
3	RAIN BIRD PESR-PAS-D	1-1/2"	TURF SPRAY (BAHIA)	29.35	19	596.3	10	2.96	3.12	34.04	46.13	1.32 in/h
4	RAIN BIRD PESR-PAS-D	1-1/2"	TURF SPRAY (BAHIA)	24.60	15	247.7	30	1.55	3.32	34.86	45.86	1.26 in/h
5	RAIN BIRD PESR-PAS-D	1"	TURF SPRAY (BAHIA)	13.95	16	358.5	30	2.29	2.79	35.08	43.50	1.01 in/h
6	RAIN BIRD XCC-100-PBB-R	1"	AREA FOR DRIPLINE	12.37		583.5	20	1.89		31.90	39.90	0.45 in/h
7	RAIN BIRD PESR-PAS-D	1-1/2"	BUBBLER	15.00	30	1,039	20	1.85	3.50	25.35	35.66	1.70 in/h
8	RAIN BIRD XCC-100-PBB-R	1"	AREA FOR DRIPLINE	6.62		178.1	20	0.72	5.07	25.79	32.27	0.45 in/h

* TURF SPRAYS ARE FOR THE IRRIGATED BAHIA ONLY. MOST OF THE BAHIA IS NOT IRRIGATED. NO OTHER SPECIES OF TURF IS SPECIFIED. THESE IRRIGATED TURF ZONES ARE IN THE PARKING LOT AND FRONT ENTRANCE.

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CARTER ELECTRIC
S BRADSHAW ROAD
APOPKA, FLORIDA
IRRIGATION DETAILS

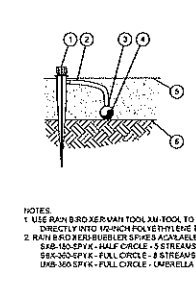
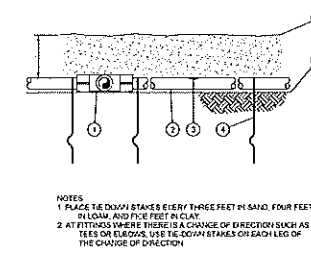
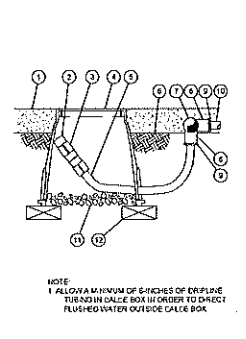
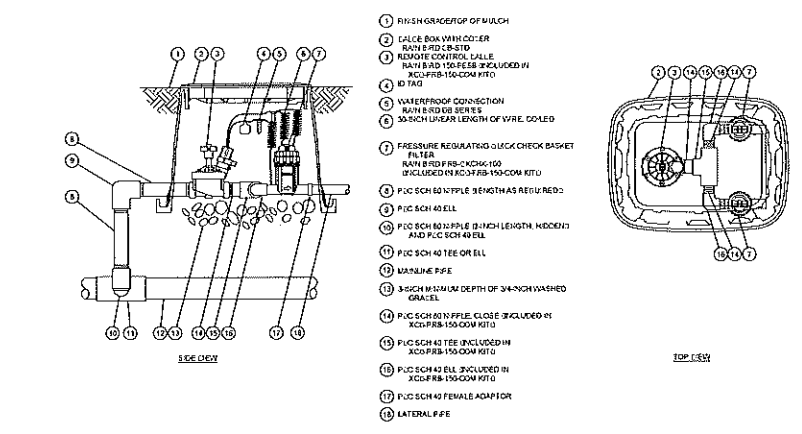
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR CARTER ELECTRIC IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

- 1 IRRIGATION CONTROLLER WITH 8-OR 12-OR 16-OR 24-OR 32-OR 48-OR 64-OR 96-OR 128-OR 192-OR 256-OR 384-OR 512-OR 640-OR 768-OR 1024-OR 1344-OR 1728-OR 2304-OR 3072-OR 4096-OR 5408-OR 7168-OR 9472-OR 12544-OR 16704-OR 22272-OR 29728-OR 39648-OR 52864-OR 70464-OR 93504-OR 124800-OR 166400-OR 221184-OR 294848-OR 393216-OR 519040-OR 686400-OR 912256-OR 1208000-OR 1612800-OR 2140160-OR 2858240-OR 3810560-OR 5047040-OR 6692480-OR 8884800-OR 11719680-OR 15543040-OR 20602880-OR 27447040-OR 36467200-OR 48262400-OR 64000000-OR 85376000-OR 113120000-OR 150016000-OR 199296000-OR 266880000-OR 357376000-OR 474880000-OR 628000000-OR 836800000-OR 1113600000-OR 1481280000-OR 1974400000-OR 2640000000-OR 3500800000-OR 4622400000-OR 6112000000-OR 8089600000-OR 10745600000-OR 14342400000-OR 19184000000-OR 25584000000-OR 34144000000-OR 45504000000-OR 60224000000-OR 80480000000-OR 107136000000-OR 142880000000-OR 191200000000-OR 255040000000-OR 340000000000-OR 453760000000-OR 602240000000-OR 804800000000-OR 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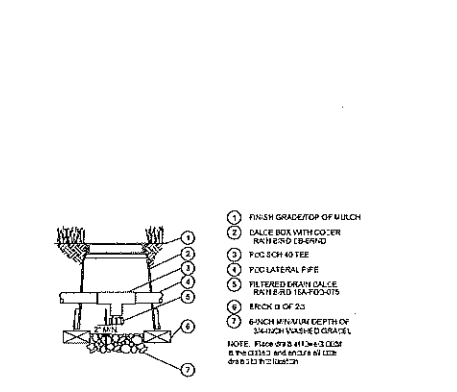
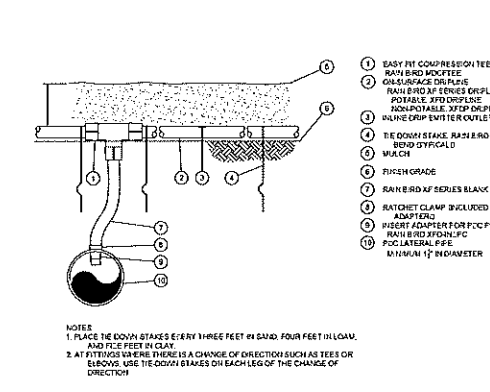
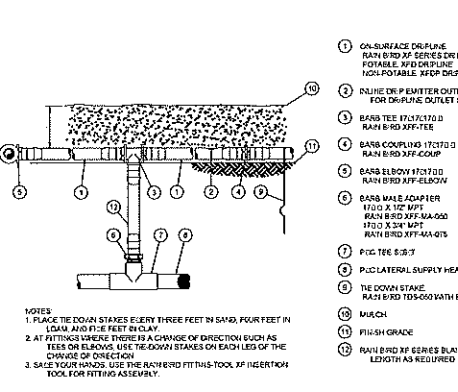
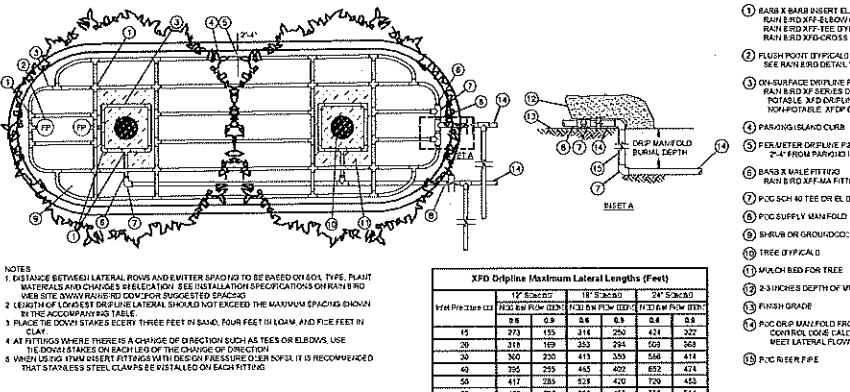


1 X CZ-PRB DRIP CONTROL ZONE KIT Scale: N.T.S.

2 DRIP LINE FLUSH POINT Scale: N.T.S.

3 DRIP LINE AT GRADE Scale: N.T.S.

4 XERI BUG EMITTER Scale: N.T.S.

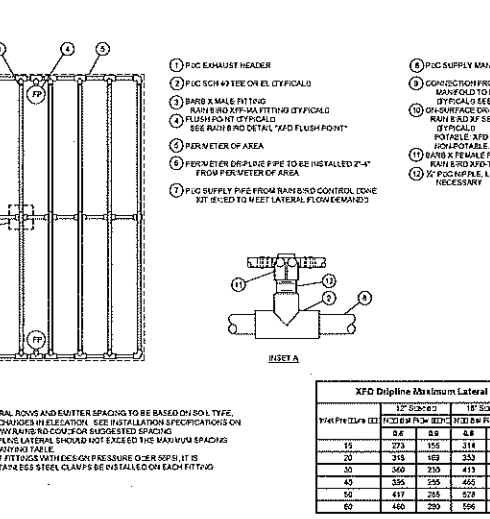
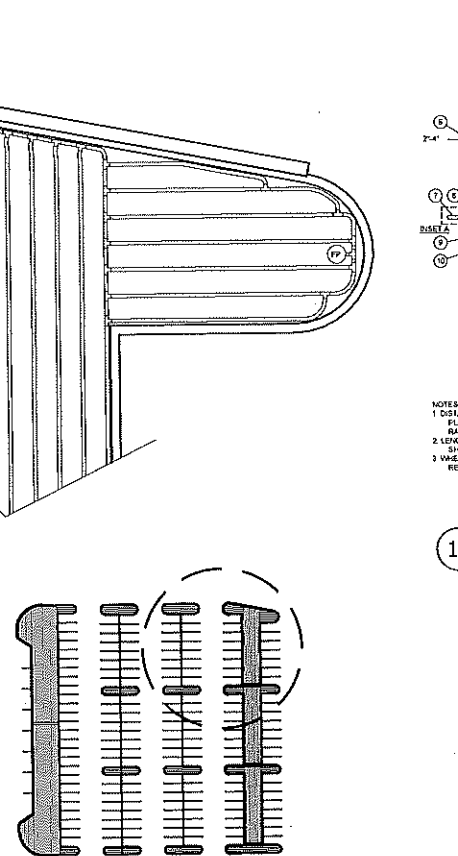
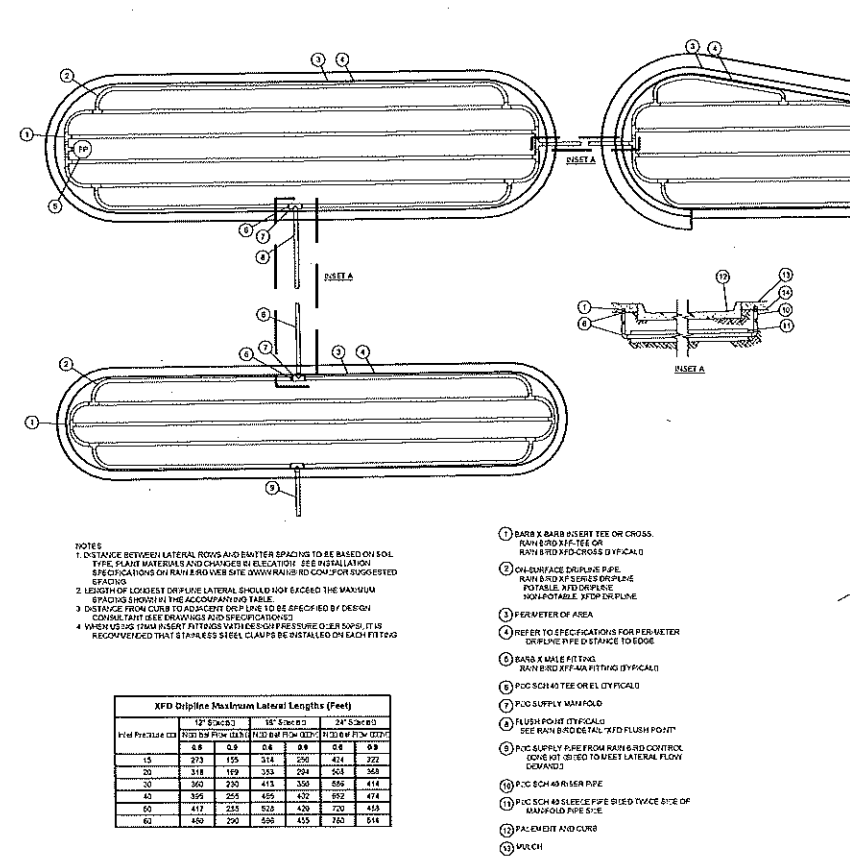


5 DRIP LINE PARKING LOT ISLANDS TYPICAL Scale: N.T.S.

6 DRIP LINE RISER ASSEMBLY Scale: N.T.S.

7 DRIP LINE INSERT ADAPTER Scale: N.T.S.

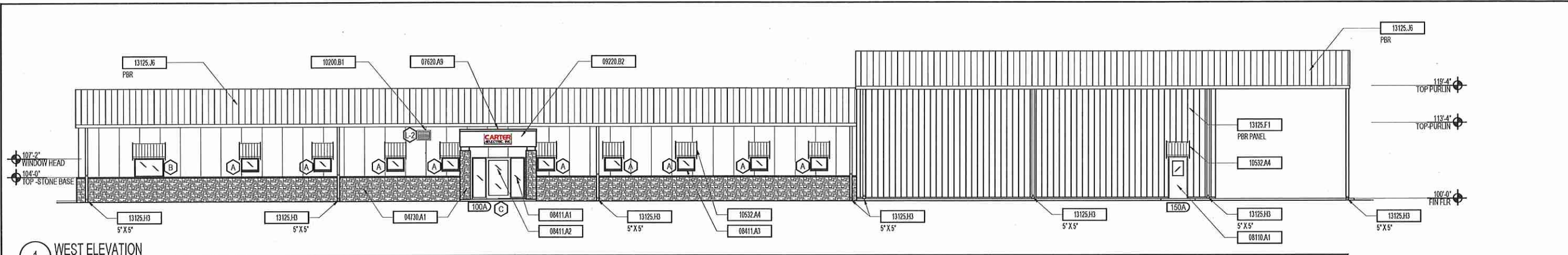
8 DRIP LINE DRAIN VALVE Scale: N.T.S.



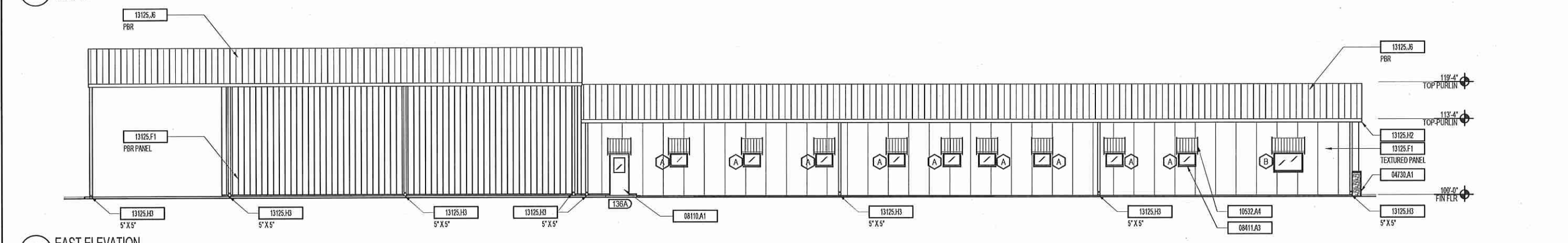
9 DRIP LINE PARKING LOT TYPICAL Scale: N.T.S.

10 DRIP LINE PLAN VIEW TYPICAL Scale: N.T.S.

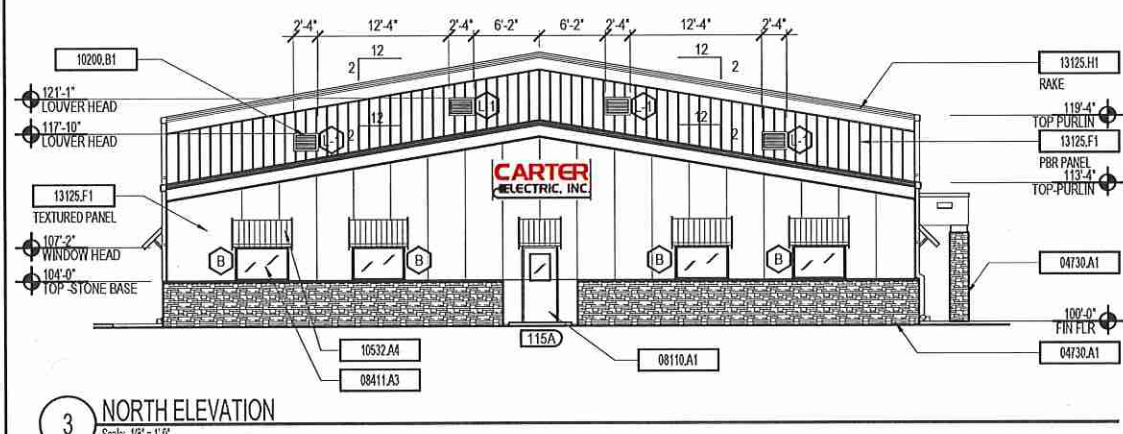
11 DRIP LINE AROUND TREE Scale: N.T.S.



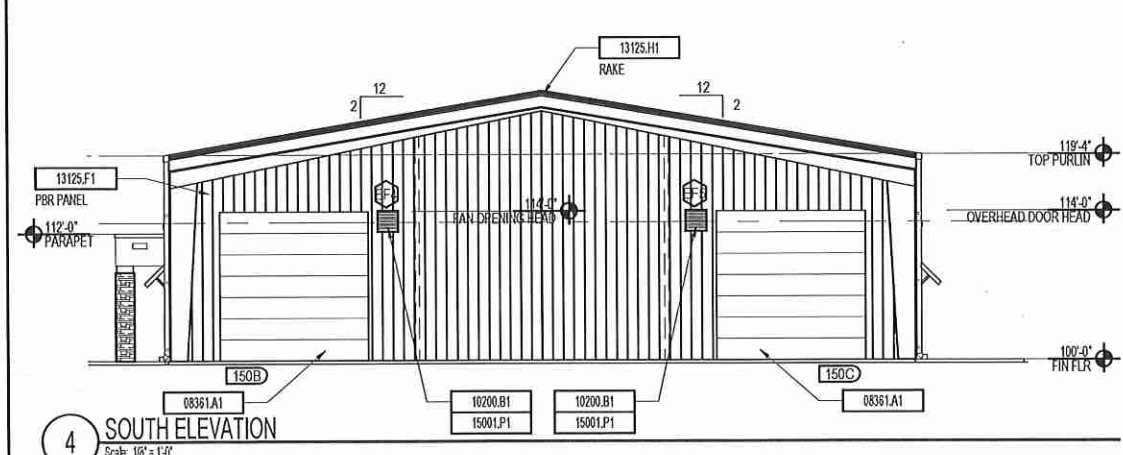
1 WEST ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

SELECTIVE KEYNOTES

- 04730 MANUFACTURED STONE MASONRY SYSTEM
- 04730.A1 CULTURED STONE VENEER SYSTEM
- 07620 SHEET METAL FLASHING AND TRIM
- 07620.A9 METAL COPING
- 08110 HOLLOW METAL DOORS AND FRAMES
- 08110.A1 HOLLOW METAL DOOR & FRAME ASSEMBLY
- 08361 SECTIONAL DOORS
- 08361.A1 SECTIONAL OVERHEAD DOOR
- 08411 ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
- 08411.A1 ALUMINUM FRAMED STOREFRONT
- 08411.A2 ALUMINUM/GLASS ENTRANCE DOOR
- 08411.A3 ALUMINUM FRAMED WINDOW
- 09220 PORTLAND CEMENT PLASTERING
- 09220.B2 3-COAT STUCCO ON METAL LATH
- 10200 LOUVERS AND VENTS
- 10200.B1 HORIZONTAL FIXED BLADE METAL LOUVER ASSEMBLY
- 10532 METAL ENTRY CANOPIES
- 10532.A4 PRE-ENGINEERED METAL AWNING-STANDING SEAM
- 13125 METAL BUILDING SYSTEMS
- 13125.F1 WALL PANELS
- 13125.F8 OUTSIDE CORNER TRIM
- 13125.H1 FASCIA
- 13125.H2 EAVE GUTTER
- 13125.H3 DOWNSPOUT
- 13125.J6 ROOF PANELS
- 15001 PLUMBING & MECHANICAL EQUIPMENT AND SYSTEMS
- 15001.P1 EXHAUST FAN

EXTERIOR FINISH SCHEDULE

DESCRIPTION	I.D.	COLOR/FINISH
PBR METAL SIDING PANEL	P1	TAN
TEXTURED METAL SIDING PANEL	P2	STONE
SEAM-LOK METAL ROOFING PANEL	P3	COAL
NICHIHA LEDGESTONE FIBER CEMENT PANEL	P4	DESERT
METAL SCUPPERS, COLLECTION HEAD AND DOWNSPOUTS	P5	CLEAR ANODIZED ALUMINUM
STANDING SEAM METAL AWNINGS	P7	GREY
HOLLOW METAL DOORS & FRAMES	P9	SW PAINT TO MATCH STONE
ALUMINUM STOREFRONT DOOR & FRAME	P10	CLEAR ANODIZED
STOREFRONT GLAZING	P11	CLEAR
STONE WATER TABLE BAND	P12	SILL CHISELED-GRAY

GENERAL NOTES:
1. 'SW' DENOTES SHERWIN WILLIAMS PAINT NUMBERS.



STONE SAMPLE- KURASTONE LEDGESTONE DESERT

CARTER ELECTRIC, INC.
Apopka, Florida

PERMIT SET **2017.042**
02-01-2018 issue date RMH drawn by RMH approved by project number

DATE	REVISION SCHEDULE	DESCRIPTION

CONCEPT ELEVATIONS **A6.1**
sheet number

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BHM ARCHITECTURE, INC.
MAIL ONLY, 478 E ALTA MONTE DR.,
SUITE 108 PMB 264
ALTAMONTE SPRINGS, FL 32701-4622
PHONE: 407.333.2005 LICENSE # AAC000233

SELECTIVE KEYNOTES

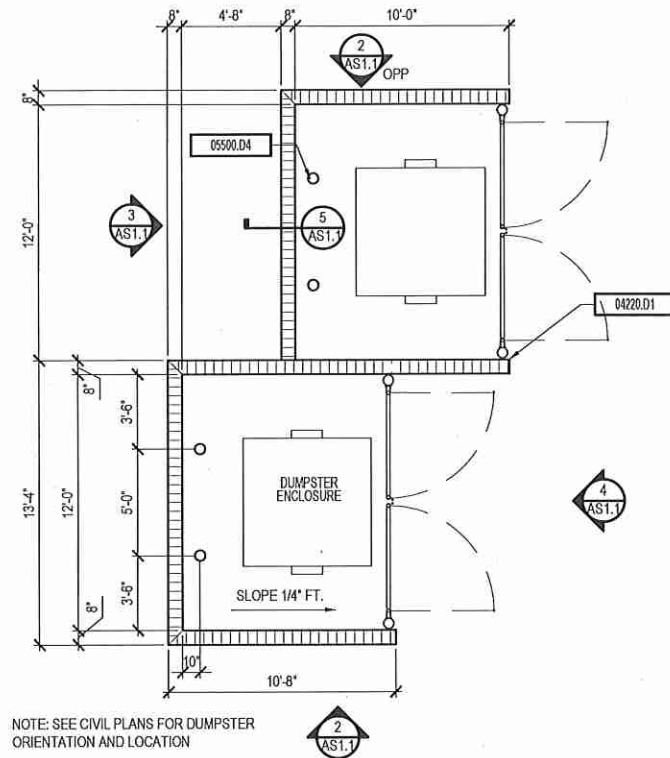
- 03001 CONCRETE WORK
- 03001.A3 CONCRETE FOUNDATION WALL
- 03001.A6 CONCRETE FOOTING
- 03001.C3 CONCRETE FLOOR SLAB
- 03001.C4 CONCRETE SLAB ON GRADE
- 03001.Y6 PRECAST CONCRETE WALL CAP

- 04220 CONCRETE UNIT MASONRY
- 04220.D1 CMU BLOCK

- 05500 METAL FABRICATIONS
- 05500.B1 METAL GATE ASSEMBLY
- 05500.D4 CONCRETE FILLED METAL BOLLARD

- 09220 PORTLAND CEMENT PLASTERING
- 09220.B1 2-COAT STUCCO DIRECT MASONRY BOND
- 09220.D5 CASING BEAD

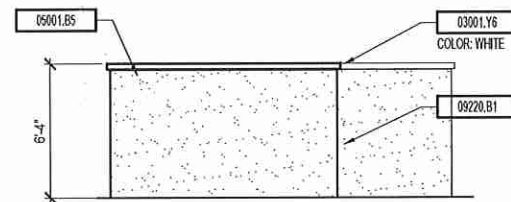
- 08912 INTERIOR PAINTING
- 08912.A1 PAINTED FINISH



NOTE: SEE CIVIL PLANS FOR DUMPSTER ORIENTATION AND LOCATION

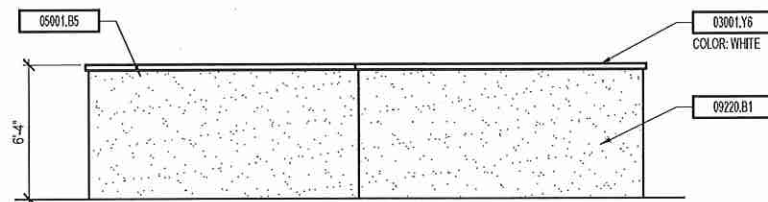
1 FLOOR PLAN - DUMPSTER ENCLOSURE

Scale: 1/4" = 1'-0"



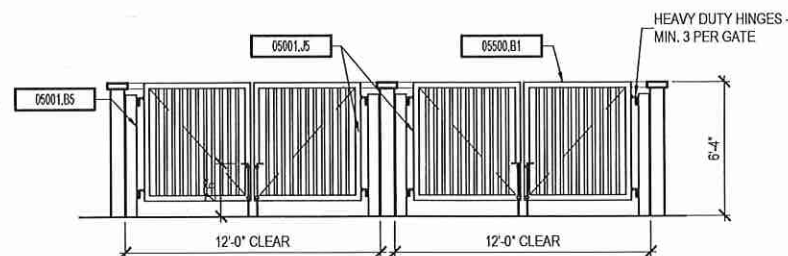
2 SIDE ELEVATION - DUMPSTER

Scale: 1/4" = 1'-0"



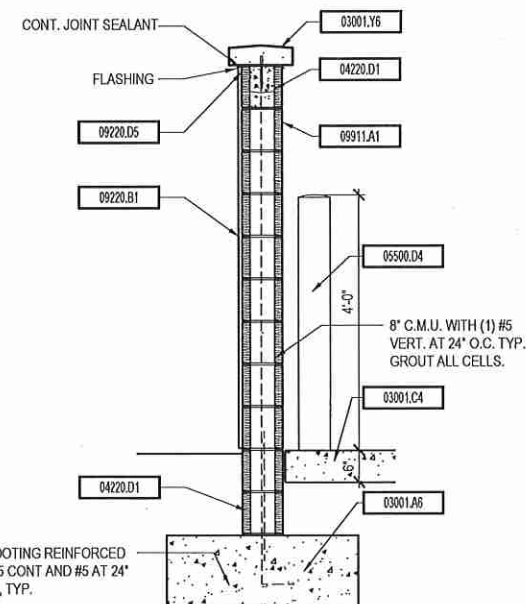
3 REAR ELEVATION - DUMPSTER

Scale: 1/4" = 1'-0"



4 FRONT ELEVATION - DUMPSTER

Scale: 1/4" = 1'-0"



5 WALL SECTION - DUMPSTER

Scale: 3/4" = 1'-0"

CARTER ELECTRIC, INC.
Apopka, Florida

PERMIT SET **2017.042**

02-01-2018 CMH CMH
issue date drawn by approved by project number

REVISION SCHEDULE	
DATE	DESCRIPTION

DUMPSTER ENCLOSURE **AS1.1**
PLAN & DETAILS sheet number

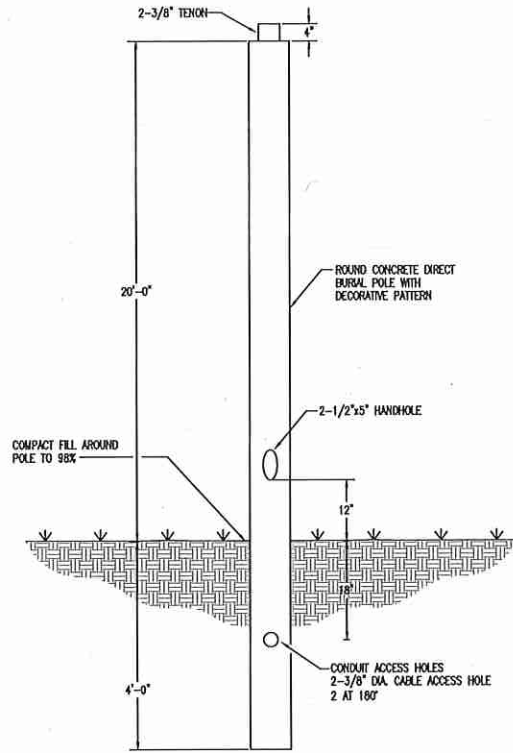
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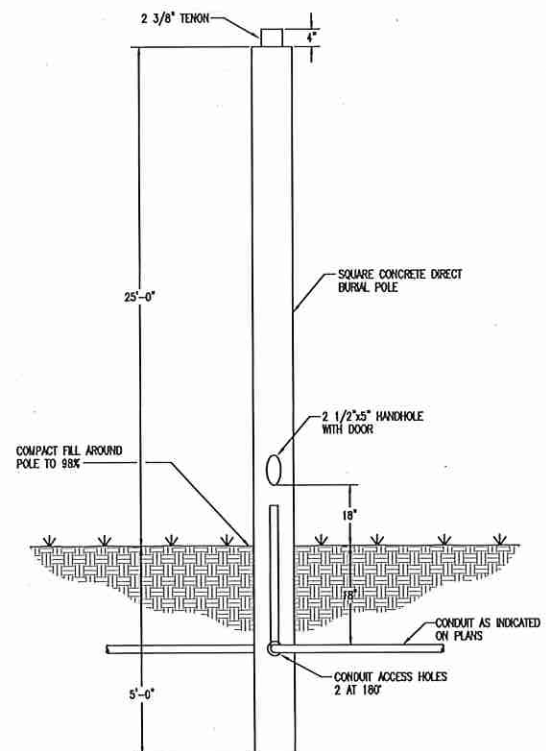
BHM ARCHITECTURE, INC.
MAIL ONLY: 478 E. ALTA MONTE DR.,
SUITE 108 PMS 264
ALTAMONTE SPRINGS, FL 32701-4622

PHONE: 407.333.2005 LICENSE # AA0000233

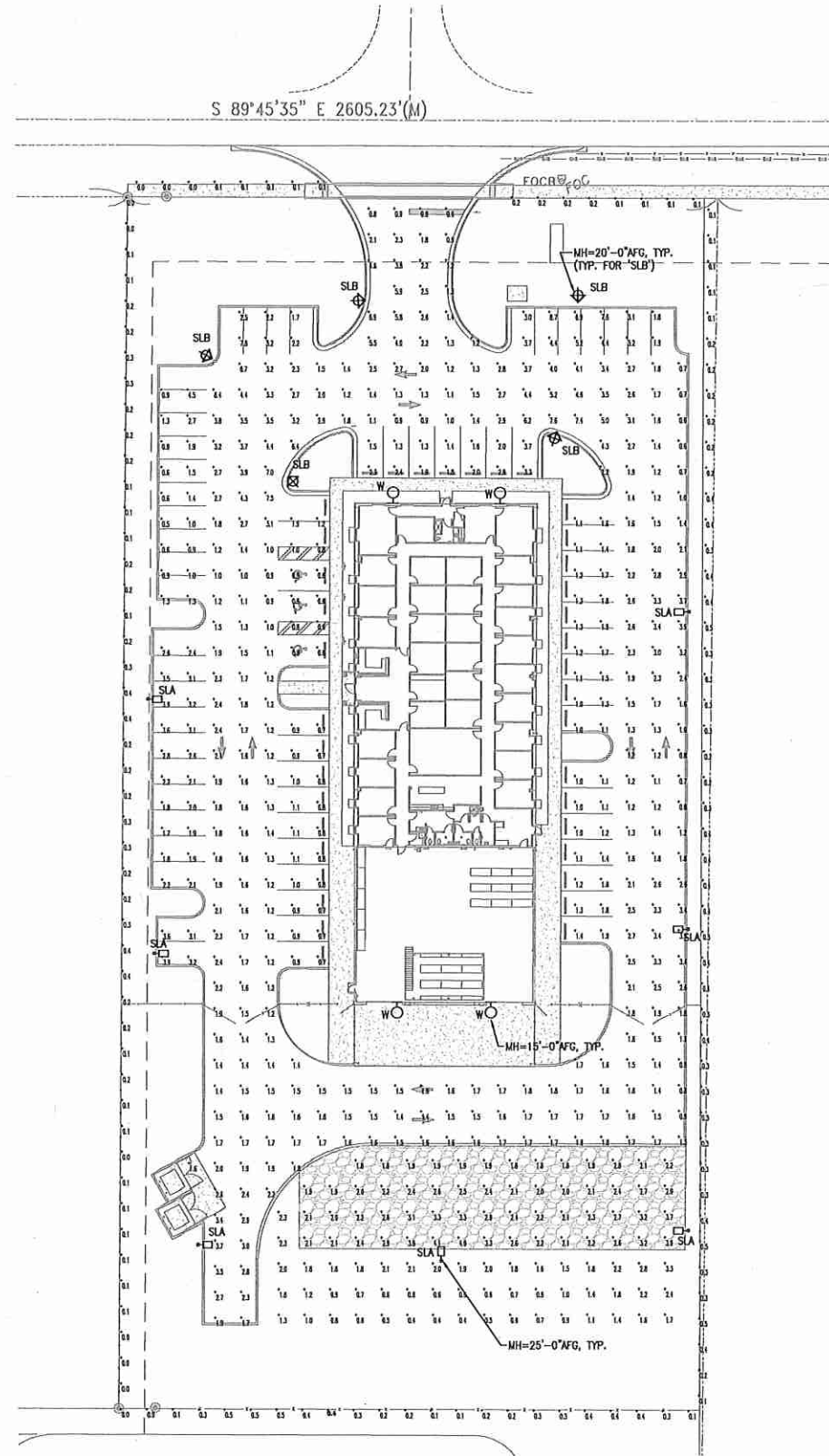
Carter Electric Inc. 04/01/2013



3 20 ft. Mounting Height Pole Detail - Fixture SLB
Scale: N 1" = 10' Scale



2 25 ft. Mounting Height Pole Detail - Fixture SLA
Scale: N 1" = 10' Scale



1 SITE PLAN - PHOTOMETRICS
Scale: 1" = 30'-0"

Luminaire Schedule					
Symbol	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	SLA	SINGLE	N.A.	0.950	ECF-S-4BL-1A-NW-G2-4-HIS
⊕	SLB	SINGLE	N.A.	0.950	APX-1-T4-64LC-5-4K-UNV
⊙	W	SINGLE	N.A.	0.950	VWPH-L60-730-FI-CLR-OPT-EDD-UNV

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Gravel Fleet Parking Lot	illumination	Fc	1.95	4.1	0.4	4.88
Parking Lot	illumination	Fc	2.06	8.7	0.5	4.12
Property Line	illumination	Fc	0.23	0.5	0.0	N.A.

CARTER ELECTRIC, INC.
Apopka, Florida

PERMIT SET **2017.042**

02.23.18 issue date SMB/MJR drawn by AJB/BLS approved by project number

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	03/29/18	City Comments

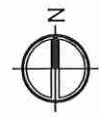
SITE PLAN PHOTOMETRICS **E1.2**
sheet number

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Joseph, Lawrence & Co **bhm** *architecture*
Consulting Engineers
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WWW.BHMCORP.COM
P.O. BOX 241233
FL 32724

Blake Lawrence Suddeth
P.E. # 69060
LICENSE # AAC000233
PHONE: 407.333.2005

J.C. 17.0245.00



Apex LED Project Name: _____ Catalog Number: _____ Type: _____

Dimensional Drawings

Fixture	A	B	C	D	Max. Watts	Lbs
APX-1	28"	29"	16"	4"	216W	33

The new Apex LED Series offers clean, functional styling that blends with a broad range of architecture. The cast aluminum housing with integrated pole top for anchors aluminum mounting rods to support the cast aluminum shade that houses the LED light engine. The LED's performance and the driver's life are maximized by enclosing them in the two separate compartments.

The Apex LED Series is an exceptional choice for college campus's, architectural buildings, and many other architectural projects that want to use sustainable LED lighting.

Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
APX-1	Type II (T2) Type III (T3) Type IV (T4) Type V (T5) Type V-W (T5W)	64 (64LC) 128 (128LC)	350 (3) 530 (5) 350 (3) 530 (5)	3000K (3K) 4000K (4K) 5000K (5K)	120-277 120-277 120-277 120-277	Post Top Arm Mount Motion Sensor/Control Wait Stopper FSP-211 Motion Sensor Weathered Brown Soft Gold Custom Color	White (WV) Smooth White (BWW) Black (BK) Smooth Black (SBK) Bronze (BZ) Forest Green (FG) Silver Metallic (SL) Graphite (GP) Weathered Brown (WB) Soft Gold (SG) Custom Color (CC)	Button Type Photocell 0-10v Dimming Driver Dimming/Controls Motion Sensor/Control Wait Stopper FSP-211 Motion Sensor Weathered Brown Soft Gold Custom Color Wireless Control

EPA Data
APX-1 1.2

VISIONAIRE LIGHTING
Performance in a Whole New Light™

3 FIXTURE TYPE 'SLB'

PHILIPS GARDCO

Site & Area EcoForm

ECF-S small

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

Project: _____
Location: _____
Cat No: _____
Type: _____
Rev: _____
Notes: _____

Ordering guide example: ECF-S-64L-900-1W-G2-AR-S-120-HS-MGV

Prefix	Number of LEDs	Color	LED Color	Mounting	Distribution	Voltage	Options	Dimming controls	Motion sensor	Photo-sensing	Electrical	Luminaire	Finish
ECF-S	64	3000K	3000K	Post Top	1 Type 1	120-277	0-10V Central dimming (by cable)	None	None	None	None	None	None

1. Available only on 120, 277, 347 and 480V.
2. Not available with 347 and 480V.
3. Not available with 120V and 277V.
4. Not available with 120V and 277V.
5. Not available with 120V and 277V.
6. Not available with 120V and 277V.
7. Not available with 120V and 277V.
8. Not available with 120V and 277V.
9. Not available with 120V and 277V.
10. Not available with 120V and 277V.

2 FIXTURE TYPE 'SLA'

VOLTAIRE ARCHITECTURAL WALL PACK

WWP LED

Series: **VWP H - L30/740 - T3 - DBZ - SDGL - OPTIONS - DIM - UNV**

CROSS SECTIONS

WWP Weight: 18 lbs. maximum weight with 88/110/CC or HSGA, 23 lbs.

ORDERING INFORMATION

Series: VWP - Voltaire Architectural Wall Pack
Type: H - Top Mount, V - Vertical, N - Niche
LED Package: See below for fixture performance data

LUMEN PACKAGE	MINIMUM DIM. (mm)	MINIMUM DIM. (in)	AVERAGE LUMENS
L30	3000	750 - 3500	3000
L40	6000	750 - 3500	6000

FINISH OPTIONS
BLC: Black (RAL 9005)
DBZ: Dark Bronze
SDGL: Standard Gray
SLV: Silver Aluminum (RAL 9006)
WWT: White (RAL 9010)

SHIELDING
SDGL: Safety shielded tempered glass lens
CGL: Clear tempered glass lens

OPTIONS
FSP-211: Motion sensor for occupancy sensing
EMWV: 4-wire LED emergency LED driver, 500 lumen output (120-277 and 277V includes housing connection for sensor factory default)
SF: Single face (120V, 277V or 347V only, must specify voltage)

ACCESSORIES (VWP only)
FSP-180: Remote controller for occupancy sensing
DIM: Dimming driver provided for 0-10V controls

VOLTAGE
120 120V
277 277V
UNV 120-277V
347 347V (includes step-down transformer)
480 480V (includes step-down transformer)

FEATURES

GENERAL

- Engineered with the highest quality materials to ensure reliability, performance, and quality.
- Provides security and accent lighting for walkways, entrances, and patios.
- Ideal for use in both uplight and downlight applications.
- Available in a variety of finishes and colors.
- For general illumination, a variety of architectural styles.
- For specialty applications, a variety of architectural styles.
- Architectural housing enclosure option can be used with an LED driver to maintain market standards throughout a project.
- Optional energy-saving photocell occupancy sensor available.
- Recall: 50,000 hours at 70°C lumen maintenance (L70).
- ANSI 98.20, 98.21 or 98.22 CCT minimum 90 CRI.
- Available in a standard finish option.
- This fixture is proudly made in the USA.

THERMAL

- Integral die cast aluminum housing provides optimal passive heat management.
- Concealed heat sink design prevents heat transfer to the wall.
- Recall: 35°C to 45°C ambient temperature range (120°C to 104°C max).
- EMWV: 0°C to 35°C with EMWV.

OPTICAL

- Apply a precision optics standard (OS) to the fixture.
- Follow the die cast aluminum housing and LED system to ensure proper installation.
- LED system is designed to provide a minimum of 100,000 hours of life.

ELECTRICAL

- 120V/15V or 277V/30V protection standard.
- LED system is designed to provide a minimum of 100,000 hours of life.

H.E. Williams, Inc. • Carthage, Missouri • www.hew.com • 417-358-4065
H.E. WILLIAMS, INC. Page 1 of 3

1 FIXTURE TYPE 'W'

CARTER ELECTRIC, INC.
Apopka, Florida

PERMIT SET **2017.042**

02.23.18 Issue date
SMB/MJR drawn by
AJB/BLS approved by
permitted number

DATE	DESCRIPTION
03/29/18	City Comments

SITE PLAN PHOTOMETRIC CUT SHEETS **E1.3**
sheet number

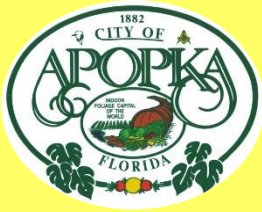
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Joseph Lawrence & Co architecture
Consulting Engineers

bhm
BHM ARCHITECTURE, INC.
MAIL ONLY: 478 E ALTAMONTE DR., SUITE 108 PMB 264
ALTAMONTE SPRINGS, FL 32701-4622
PHONE: 407.333.2005 LICENSE # AAC000233

Blake Lawrence Suddeth
P.E. # 89050

J.C. 17.0248.00



CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	May 8, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Zoning Map
		Aerial Map
		Final Development Plan
		Architectural Renderings

SUBJECT: FINAL DEVELOPMENT PLAN – CHURCH’S CHICKEN – 845 SOUTH ORANGE BLOSSOM TRAIL

REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR CHURCH’S CHICKEN TO BE LOCATED AT 845 SOUTH ORANGE BLOSSOM TRAIL

SUMMARY:

OWNER/APPLICANT: CHC-845 S ORANGE BLOSSOM TRAIL APOPKA FL LLC

ENGINEER: Kimley-Horn and Associates, Inc. c/o Jordan Draper, P.E.

LOCATION: 845 South Orange Blossom Trail

PARCEL ID #: 11-21-28-0206-00-070

FUTURE LAND USE: Commercial

ZONING: C-2 (General Commercial)

EXISTING USE: Parking Lot

PROPOSED USE: Restaurant with Drive-Thru Service

TRACT SIZE: 1.07 +/- acres

BUILDING SIZE: 1,850 square feet

FLOOR AREA RATIO 0.0395

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-2	Multi-tenant Shopping Center
East (City)	Commercial	C-2	Multi-tenant Shopping Center
South (City)	Commercial	ROW/C-1	U.S. Highway 441/ Multi-tenant Shopping Center
West (City)	Commercial	C-2	Retail Establishment

ADDITIONAL COMMENTS: This is a request to approve the Church's Chicken Final Development Plan that includes a building size of 1850 square feet and height of 21 feet.

PARKING: A total of 27 parking spaces will be provided (50 required by code), two of which are reserved as a handicapped parking space.

ACCESS: Access to the restaurant is via private drive aisles of the Apopka Land Shopping Center that have multiple access points to U.S. 441, Sheeler Avenue, and S.R. 436.

EXTERIOR ELEVATIONS: The height of the proposed building is 21 feet, well below the maximum allowable height of 35'. Staff has found the proposed building elevations to be in accordance with the City's Development Design Guidelines.

STORMWATER: The stormwater management is off-site and part of the master stormwater system that includes the Apopka Land Regional Shopping Center.

BUFFER/SCREENING/LANDSCAPING/TREE PROGRAM: As part of the development plan approval, red maple, eastern redbud and shrubs are located within the 5-foot wide landscaping buffer on the western perimeter of the project site. 10-foot wide landscape buffer on the southern perimeter adjacent to U.S. Highway 441 consist of crape myrtle, red maple trees and shrubs. The plan also shows that a total of five existing oak trees are preserved.

Total inches on-site:	198
Total inches removed	78
Total inches retained:	120
Total inches added:	99
Total inches post development:	141

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

June 6, 2018 - City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Church's Chicken Final Development Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Find the Church's Chicken Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

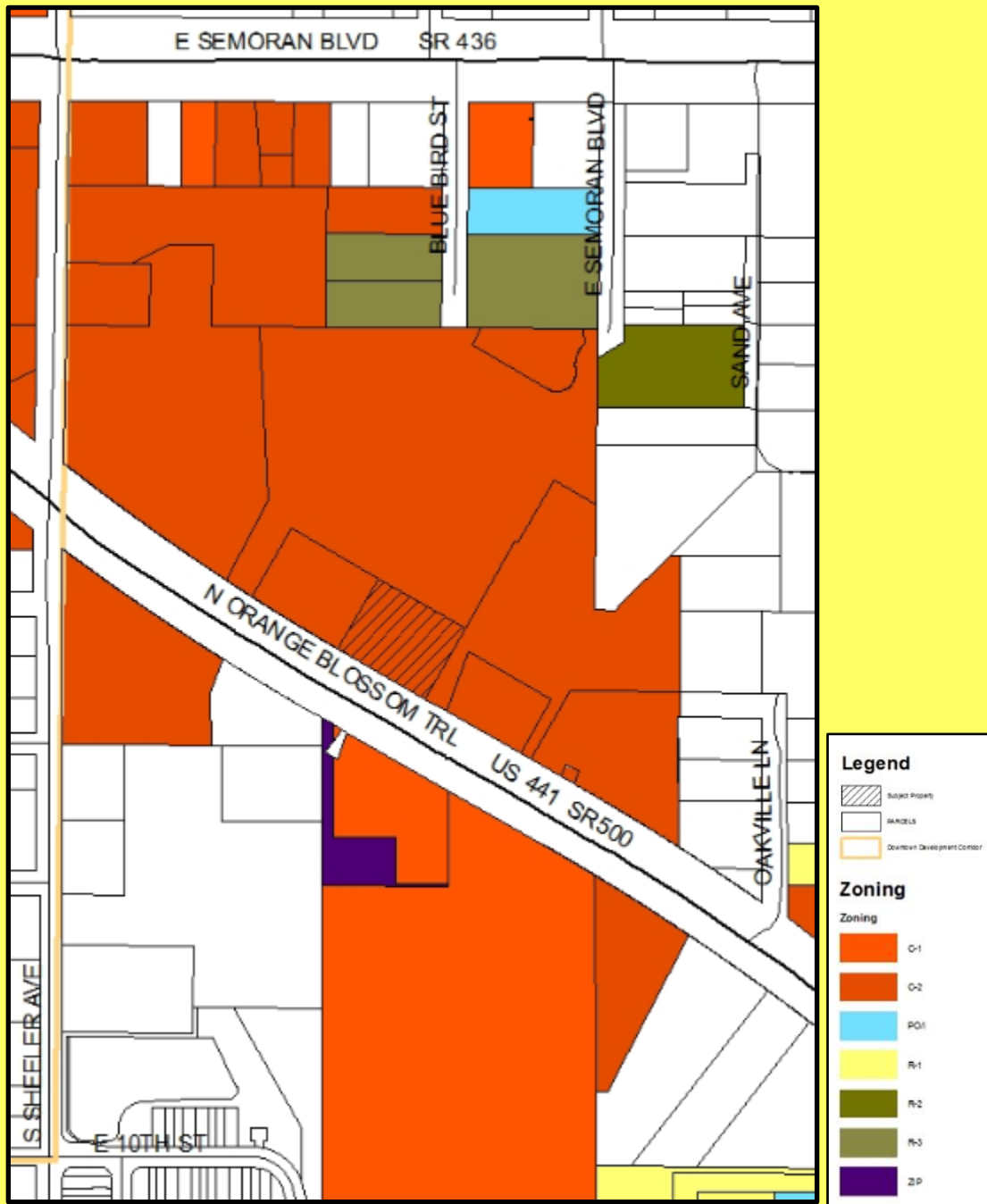
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Final Development Plan
Owner/Applicant: CHC-845 S Orange Blossom Trail Apopka FL LLC
Engineer: Kimley-Horn and Associates, Inc. c/o Jordan Draper, P.E.
Parcel I.D. No: 11-21-28-0206-00-070
Location: 845 South Orange Blossom Trail
Acres: 1.07 acres +/-

VICINITY MAP



ZONING MAP



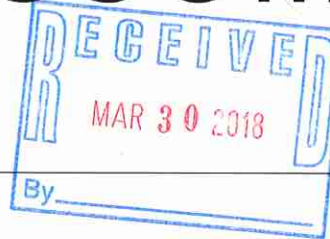
AERIAL MAP



SITE CIVIL PLANS FOR 845 SOUTH ORANGE BLOSSOM TRAIL

CHURCH'S CHICKEN

FINAL DEVELOPMENT PLAN SUBMITTAL:
MARCH 29, 2018



SITE DATA TABLE		
SITE ADDRESS	845 SOUTH ORANGE BLOSSOM TRAIL, APOPKA, FL 32703	
PARCEL ID NUMBER	11-21-28-0206-00-070	
TAX MAP	PLAT BOOK 53, PAGE 113	
ZONING	GENERAL COMMERCIAL (C-2)	
FUTURE LAND USE DESIGNATION	COMMERCIAL	
OVERALL AREA	EXISTING	PROPOSED
USE	SURFACE PARKING	FAST FOOD RESTAURANT W/ DRIVE THRU
SITE AREA	46,779 SF 1.07 AC	46,779 SF 1.07 AC
DISTURBED AREA	N/A	1.06 AC
IMPERVIOUS AREA	81.1%	72.6%
INTERIOR LANDSCAPING AREA	2,073 SF (2,093 SF REQUIRED)	3,537 SF
OPEN SPACE	18.7%	27.4%

ADJACENT AREAS	LAND USE	ZONING
NORTH	SHOPPING CENTER	C-2
SOUTH	N/A	N/A
EAST	BANK	C-2
WEST	RETAIL	C-2

CHURCH'S CHICKEN - DATA TABLE		
BUILDING DATA	REQUIRED	PROVIDED
DIMENSIONS	N/A	31 FT X 61 FT
HEIGHT	35 FT MAX	21 FT
STORIES	N/A	1
NUMBER OF EMPLOYEES	N/A	8
NUMBER OF FIXED SEATS	N/A	31
GROSS FLOOR AREA	1,850 SF	
GROSS FLOOR AREA RATIO	3.95%	
PATRON AREA WITHOUT FIXED SEATS	504 SF	
BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT: SOUTH	10 FT MIN	49.4 FT
REAR: NORTH	10 FT MIN	83.5 FT
SIDE: EAST	10 FT MIN	136.5 FT
SIDE: WEST	10 FT MIN	70.0 FT
PARKING SETBACKS	REQUIRED	PROVIDED
FRONT: SOUTH	10 FT MIN	15.3 FT
REAR: NORTH	5 FT MIN	32.2 FT
SIDE: EAST	5 FT MIN	13.3 FT
SIDE: WEST	5 FT MIN	10.0 FT
PARKING	REQUIRED	PROVIDED
STANDARD SPACES	13	27
ACCESSIBLE	2	2
TOTAL VEHICULAR PARKING	15	29

SIGNAGE REGULATIONS	1 MONUMENT	4 BUILDING
SIGN HEIGHT	8 FT	N/A
SIGN AREA	100 SF	100 SF, 200 SF TOTAL



VICINITY MAP
SCALE: 1" = 2,000'

PROJECT DESIGN TEAM

ARCHITECT

THE MILBERGER ARCHITECTURAL GROUP, LLC
7500 SOUTH MEMORIAL PARKWAY
SUITE 215K
HUNTSVILLE, AL 35802
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CONTACT: ERIC MILBERGER

DEVELOPER

AMERICAN DEVELOPMENT PARTNERS, LLC
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PHONE: (615) 818-6982
CONTACT: MANNY BUTERA

CIVIL ENGINEER

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ENGINEER OF RECORD

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PHONE: (407) 412-7741
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SURVEY

MASER CONSULTING
405 NORTH RIO ST., SUITE 105
TAMPA, FL 33609
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CONTACT: CHARLES D. FERRARO, PLS

GEOTECH / ENVIRONMENTAL

PROFESSIONAL SERVICE INDUSTRIES, INC.
1748 33RD STREET
ORLANDO, FL 32839
PHONE: (407) 304-5560
CONTACT: JONATHAN K. THRASHER, P.E.

PERMITTING / UTILITY CONTACTS

BUILDING DEPT.

CITY OF APOPKA BUILDING DIVISION
RAY MARSH
120 EAST MAIN ST., 2ND FLOOR
APOPKA, FL 32703
PHONE: (407) 703-1713

ZONING

CITY OF APOPKA COMMUNITY DEVELOPMENT DEPARTMENT
JAMES HITT
120 EAST MAIN ST., 2ND FLOOR
APOPKA, FL 32703
PHONE: (407) 703-1713

FIRE CHIEF

CITY OF APOPKA FIRE MARSHAL
BRIAN BOWMAN
175 EAST 5TH ST.
APOPKA, FL 32703
PHONE: (407) 703-1754

TRAFFIC

CITY OF APOPKA PUBLIC SERVICES
R. JAY DAVOLL
748 EAST CLEVELAND ST.
APOPKA, FL 32703
PHONE: (407) 703-1731

FDOT

FLORIDA DEPARTMENT OF TRANSPORTATION
FDOT DISTRICT 5
2400 CAMP ROAD
OVIEDO, FL 32765
PHONE: (407) 249-4299

STORMWATER

CITY OF APOPKA PUBLIC SERVICES
R. JAY DAVOLL
748 EAST CLEVELAND ST.
APOPKA, FL 32703
PHONE: (407) 703-1731

WATER

CITY OF APOPKA PUBLIC SERVICES
R. JAY DAVOLL
748 EAST CLEVELAND ST.
APOPKA, FL 32703
PHONE: (407) 703-1731

SANITARY SEWER

CITY OF APOPKA PUBLIC SERVICES
R. JAY DAVOLL
748 EAST CLEVELAND ST.
APOPKA, FL 32703
PHONE: (407) 703-1731

ELECTRIC

DUKE ENERGY
DANIELLE ESTERS
275 WEST PONKAN RD.
APOPKA, FL 32703
PHONE: (407) 464-1220

NATURAL GAS

LAKE APOPKA NATURAL GAS DISTRICT
EVERETT HOLMES
38 NORTH PARK AVE.
APOPKA, FL 32703
PHONE: (407) 656-2734 (EXT. 104)

TELEPHONE/CABLE

CHARTER COMMUNICATIONS
MARVIN USRY JR.
3767 ALL AMERICAN BLVD.
ORLANDO, FL 32810
PHONE: (407) 532-8509

SHEET LIST TABLE	
Sheet Number	Sheet Title
C0-00	COVER SHEET
--	SURVEY (BY OTHERS)
C0-01	GENERAL NOTES
C1-00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2-00	SITE PLAN
C2-50	SITE DETAILS 1
C2-60	SITE DETAILS 2
C3-00	EROSION AND SEDIMENT CONTROL PLAN PHASE I
C3-10	EROSION AND SEDIMENT CONTROL PLAN PHASE II
C3-50	EROSION AND SEDIMENT CONTROL DETAILS
C4-00	GRADING AND DRAINAGE PLAN
C6-00	UTILITY PLAN
C6-10	UTILITY PROFILES
C6-50	STORMWATER PLAN
C6-60	STORMWATER PROFILES
L1-00	LANDSCAPE PLAN
L1-50	LANDSCAPE DETAILS
IR1-00	IRRIGATION PLAN
IR2-00	IRRIGATION DETAILS
IR2-50	IRRIGATION SPECIFICATIONS
--	PHOTOMETRIC PLAN

GENERAL DEVELOPMENT NOTES

- THIS PARCEL DOES NOT LIE WITHIN THE FLOOD HAZARD AREAS IN ACCORDANCE WITH FEMA INSURANCE RATE MAP PANEL NUMBER 42037C0219F.
- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH CITY OF APOPKA PUBLIC WORKS DEPARTMENT REGULATIONS.
- CITY OF APOPKA SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.



REVISIONS

THE MILBERGER ARCHITECTURAL GROUP, LLC
7500 South Memorial Parkway
Suite 215K
Huntsville, AL 35802
(256) 534-0657
www.m2architects.com



T0006
845 SOUTH ORANGE BLOSSOM TRAIL
APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
LVA	TJM

CONTENTS:
COVER SHEET

3/29/2018

118220041
JOB NUMBER

C0-00	2
17 TOTAL	



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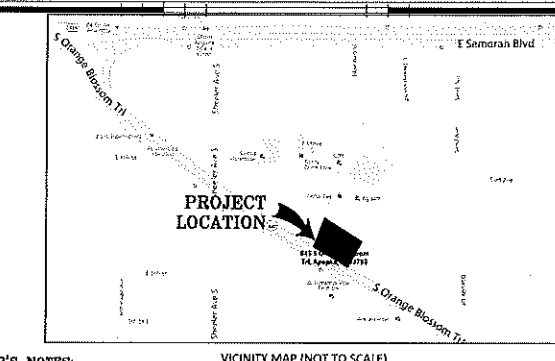
MAP OF SURVEY

LOT 7, APOPKA LAND REGIONAL SHOPPING CENTER 11

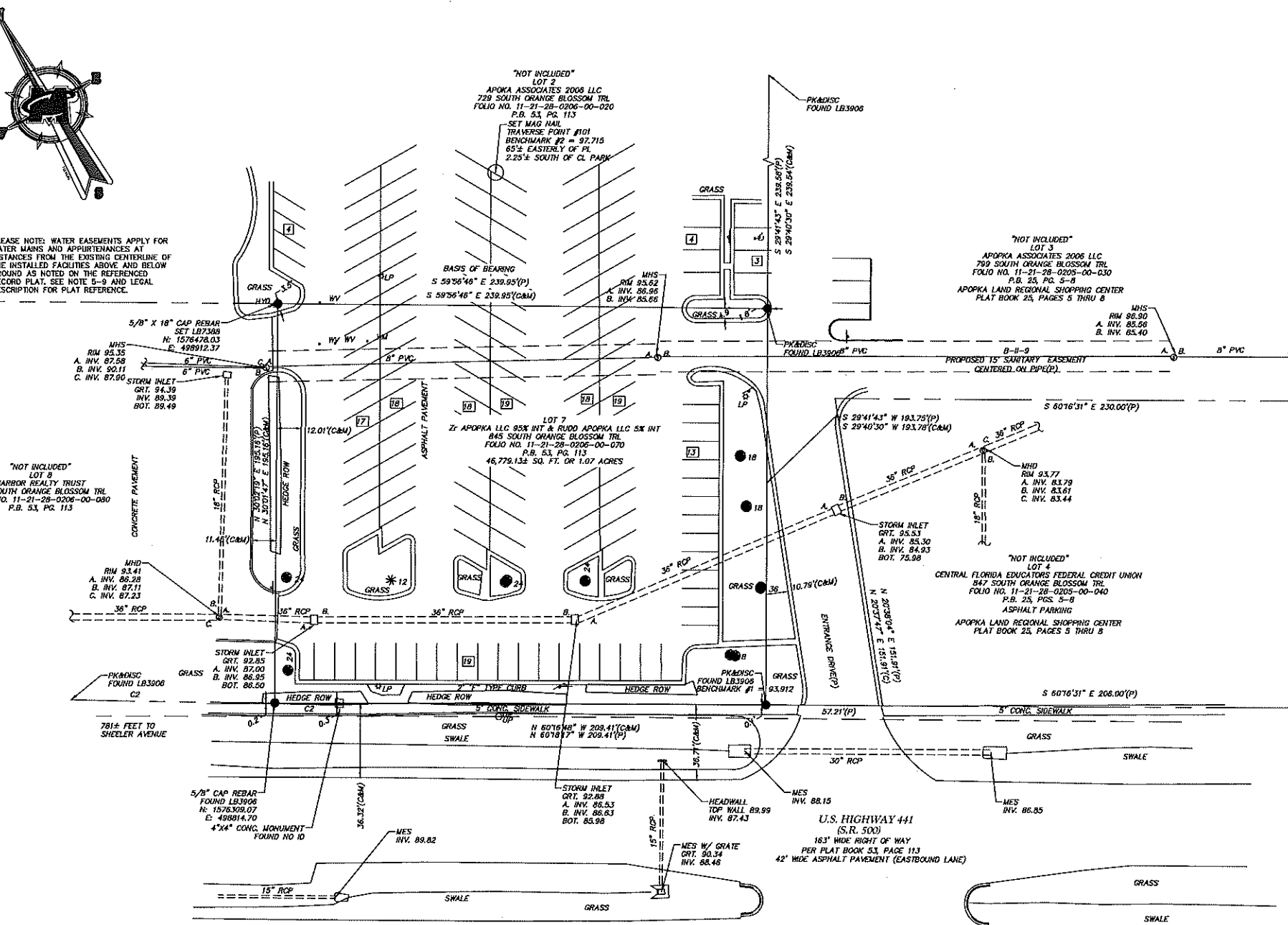
PLAT BOOK 53, PAGE 113

SECTION 11 & 14, TOWNSHIP 21 SOUTH, RANGE 28 EAST

ORANGE COUNTY, FLORIDA



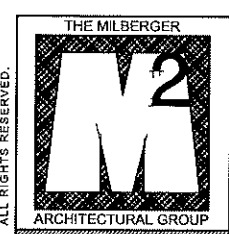
- SURVEYOR'S NOTES:**
- CERTIFIED TO:**
CHC-845 S Orange Blossom Trail Apopka FL, LLC
RS Lending, Inc., a Delaware corporation or its successors or assigns
First American Title Insurance Company
 - THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 9, 11, 13, & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 03, 2017.
 - DATE OF PLAT OR MAP: MARCH 06, 2017
 - THIS IS TO CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP OR PLAT IS THE RESULT OF A FIELD SURVEY PERFORMED ON 03/03/2017 BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS. THE INFORMATION DEPICTED HEREON, CORRECTLY REPRESENTS THE CONDITIONS FOUND AT AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE, ACCORDINGLY THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES, IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY AFOREMENTIONED DATA LISTED ABOVE.
 - THIS PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED PROFESSIONAL IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS PLAN BEYOND ITS INTENDED PURPOSE.
 - THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION, AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
 - THIS SURVEY WAS PREPARED WITH THE BENEFIT OF OWNERSHIP AND ENCUMBRANCE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, UNDER FILE NUMBER 12666-2390665, WITH AN EFFECTIVE DATE OF FEBRUARY 02, 2017 AT 8:00 A.M.. THE BELOW REFERENCED ITEMS ARE NUMBERED AS THEY APPEAR IN SCHEDULE B SECTION II OF THE TITLE BINDER AS FOLLOWS:
 - SCHEDULE B SECTION II EXCEPTIONS FROM COVERAGE
 - 5-9. RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF APOPKA LAND REGIONAL SHOPPING CENTER II, AS RECORDED IN PLAT BOOK 53, PAGE(S) 113, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). (DOES AFFECT PLOTTED)
 - 5-10. RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF APOPKA LAND REGIONAL SHOPPING CENTER, AS RECORDED IN PLAT BOOK 25, PAGE(S) 5, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 - 5-11. DECLARATION OF RESTRICTIONS RECORDED SEPTEMBER 25, 1985 IN BOOK 3694, PAGE 81, TOGETHER WITH FIRST MODIFICATION RECORDED OCTOBER 6, 1988 IN BOOK 3825, PAGE 3563 AND SECOND MODIFICATION RECORDED SEPTEMBER 6, 1994 IN BOOK 4792, PAGE 1823. (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 - 5-12. EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND RECORDED SEPTEMBER 25, 1985 IN BOOK 3694, PAGE 85, TOGETHER WITH FIRST MODIFICATION RECORDED OCTOBER 6, 1988 IN BOOK 3825, PAGE 3572, SECOND AMENDMENT RECORDED JUNE 19, 1989 IN BOOK 4080, PAGE 164 AND THIRD MODIFICATION RECORDED SEPTEMBER 6, 1994 IN BOOK 4792, PAGE 1827. (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 - 5-13. PIPELINE EASEMENT IN FAVOR OF THE CITY OF APOPKA, A MUNICIPAL CORPORATION RECORDED SEPTEMBER 17, 1987 IN BOOK 3920, PAGE 4381. (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 - 5-14. EASEMENT AGREEMENT BY AND BETWEEN APOPKA ASSOCIATES, A GEORGIA JOINT VENTURE AND THE CITIZENS AND SOUTHERN NATIONAL BANK OF FLORIDA, A NATIONAL BANKING ASSOCIATION RECORDED SEPTEMBER 15, 1969 IN BOOK 4115, PAGE 2981. (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 - 5-15. RESTRICTIONS AND CONDITIONS AS SET FORTH IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED JANUARY 6, 2000 IN BOOK 5917, PAGE 2110. (DOES AFFECT SUBJECT PROPERTY, NOT PLOTTABLE.)
 - 5-16. DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED APRIL 15, 2003 IN BOOK 6870, PAGE 4202. (DOES AFFECT SUBJECT PROPERTY, BLANKET IN NATURE).
 6. BASIS OF BEARING: BEARING SHOWN HEREON ARE BASED OF STATE PLANE COORDINATE SYSTEM NAD83 ESTABLISHED BY RTK (REAL TIME KINEMATIC), HOLDING BASE STAMPED AK7045 DESCRIBED AS "4"x4" NIS CONCRETE MONUMENT SURV 0472 CAS".
 - ADDITIONS OR DELETIONS TO SURVY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AND/OR TOXIC WASTES. THEREFORE, IT SHOULD NOT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS OR TOXIC WASTES IS FORTYFIED HEREON. IT IS IN THE BEST INTEREST OF THE CLIENT TO PURSUE THESE MATTERS AS A SEPARATE CONCERN APART FROM THIS SURVEY.
 - IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION OR INK SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION BEGINS, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - UNDERGROUND FOUNDATIONS AND ENCROACHMENTS, ETC., IF ANY, NOT LOCATED, ONLY VISIBLE ABOVE GROUND FEATURES LOCATED.
 - ELEVATIONS SHOWN HERE ON ARE RELATIVE TO NATIONAL GEODETIC SURVEY (NIGS) BENCHMARK STAMP WITH DESIGNATION NUMBER "L 851 021" WITH AN ELEVATION OF 97.40'(NAD83 1988).
 - THE PARCEL SHOWN HEREON LIES IN FLOOD ZONE "X" PER THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, FLORIDA PER MAP NUMBER 12095C0140F, DATED SEPTEMBER 25, 2009 AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
- LEGAL DESCRIPTION**
- LOT 7, AS PER MAP OR PLAT THEREOF "APOPKA LAND REGIONAL SHOPPING CENTER II" BEING A REPLAT OF LOTS 1 AND 2, APOPKA LAND REGIONAL SHOPPING CENTER PER PLAT BOOK 25, PAGES 5 THRU 8 AS RECORDED IN PLAT BOOK 53, PAGE 113 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- SAID LOT CONTAINS 46,779.13 SQUARE FEET OR 1.07 ACRES MORE OR LESS
- ALTA/NSPS LAND TITLE BOUNDARY & TOPOGRAPHIC SURVEY



SEGMENT	RADIUS	LENGTH	DELTA	CHORD
C1(C&M)	5599.65'	31.74'	00° 19' 29" N 60° 15' 07" W 31.74'	
C1(P)	5599.65'	31.71'	00° 19' 28" N 60° 06' 55" W 31.71'	
C2(C&M)	5599.65'	239.86'	02° 27' 15" N 58° 46' 22" W 239.84'	
C2(P)	5599.65'	240.06'	02° 27' 29" N 58° 45' 20" W 240.04'	



FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY	NO. NUMBER	LNK. UNKNOWN	BFP BACK FLOW PREVENTER	LEGEND	ERX ELECTRICAL BOX	F.D.C. FIRE DEPARTMENT CONNECTION	(D) DEED	(L) FUEL MANHOLE	UNDERGROUND FIBER OPTIC
PG. PAGE	LN. LICENSE BUSINESS	INV. INVERT	L. LEGAL	CO CLEANOUTS	RCP REINFORCED CONCRETE PIPE	MHS MANHOLE SANITARY	ENC ENCROACHING	TRAFFIC LIGHT	UNDERGROUND ELECTRIC
P.B. PLAT BOOK	NAD83 NORTH AMERICAN DATUM OF 1983	GR. GRATE	OW OVERHEAD WIRE	SM STORM MANHOLE	TRANS TRANSFORMER	NSPS NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS	A/C AIR CONDITIONING	LIGHT POLE	UNDERGROUND GAS
O.R.B. OFFICIAL RECORDS BOOK	EP EDGE OF PAVEMENT	PVC POLYVINYL CONDUIT	OW OVERHEAD WIRE	GI GRATE INLET	ID IDENTIFICATION	PARKER-KALON NAIL AND DISC	(C&M) CALCULATED AND MEASURED	FIBER OPTIC MARKER	UNDERGROUND UNKNOWN
DWG. DRAWING	CONC. CONCRETE	WES WATER METER	UT UTILITY POLE	WV WATER VALVE	MON MONUMENT	CHLN CHAIN LINK FENCE	T.B.M. TEMPORARY BENCHMARK	CABLE BOX	TR-0-00 TREE IDENTIFICATION
REG. REGISTER	PSM PROFESSIONAL SURVEY MAPPERS	WV WATER VALVE	WV WATER VALVE	SI SIGN	ICV IRRIGATION CONTROL VALVE	UNK. UNKNOWN	N.G.S. NATIONAL GEODETIC SURVEY	BOX BOX	BB BOTTOM BERM
SQ.FT. SQUARE FEET	ELEC. ELECTRIC	SW SEWER VALVE	SW SEWER VALVE	P.O.C. POINT OF COMMENCEMENT	PRM PERMANENT REFERENCE MONUMENT	PK&D PARKER-KALON NAIL AND DISC	MONITORING WELL	STALL STALL	TD TOP OF BERM
N.A.M.D. NORTH AMERICAN VERTICAL DATUM	EC EDGE OF CONCRETE	SW SEWER VALVE	SW SEWER VALVE	P.O.B. POINT OF BEGINNING	WM WATER METER	PK&D PARKER-KALON NAIL AND DISC	N.C.F.S. NO CORNER FOUND OR SET	ROW ROW	ROW ROW
	BDC BACK OF CURB	BW BOTTOM OF WALL	BW BOTTOM OF WALL	GM GAS METER	BLDG BUILDING	PK&D PARKER-KALON NAIL AND DISC	MANHOLE GREASE TRAP	MHGT MANHOLE GREASE TRAP	MHGT MANHOLE GREASE TRAP
	(P) PLAT	TEPED TELEPHONE PEDESTAL	TEPED TELEPHONE PEDESTAL		EM ELECTRIC METER	PK&D PARKER-KALON NAIL AND DISC			



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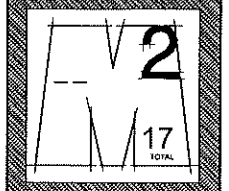
T0006
 845 SOUTH ORANGE BLOSSOM TRAIL
 APOPKA, FL 32703

DRAWN BY: LVA
 CHECKED BY: TJM

CONTENTS:
 SURVEY (BY OTHERS)

3/29/2018

118220041
 JOB NUMBER



Kimley»Horn

214 Oceanside Drive, Nashville, TN 37204
 Main: 615.564.2701 | www.kimley-horn.com
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CONTRACTOR RESPONSIBILITIES:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - A. THE CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING CONDITIONS INCLUDING UTILITIES (INVERTS, CONNECTIONS, MATERIALS, ETC.) AND DIMENSIONS WITHIN THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
 - B. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
 - C. THE CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS AND LIAISONS WITH UTILITY COMPANIES DURING THE PROCESS OF LOCATING, RELOCATING, AND TYING INTO PUBLIC UTILITIES.
 - D. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED LAND DISTURBANCE SHALL OCCUR INSIDE THE APPROVED LIMITS INDICATED ON THE APPROVED PLANS.
2. DURING CONSTRUCTION:
 - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
 - B. THE CONTRACTOR SHALL USE MATERIALS AND EMPLOY CONSTRUCTION METHODS IN ORDER TO COMPLY WITH THE DRAWINGS AND SPECIFICATIONS. WHERE A CONFLICT OCCURS, THE STRICTEST DESIGN SHALL GOVERN. THE ENGINEER'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC., DOES NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY SPECIFIC DEVIATIONS AND OBTAIN ENGINEER'S WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.
 - C. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
 - D. ALL CONSTRUCTION MUST CONFORM TO THE STANDARDS, SPECIFICATIONS, AND CODES OF THE GOVERNING MUNICIPALITIES.
 - E. CONSTRUCTION SHALL MEET ALL CURRENT STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
 - F. IF THE CONTRACTOR DAMAGES ANY EXISTING UTILITIES DURING CONSTRUCTION, HE SHALL, AT HIS OWN EXPENSE, REPLACE OR REPAIR THE UTILITIES TO ORIGINAL CONDITION AND QUALITY AS APPROVED BY THE OWNER AND REPRESENTATIVE OF THE APPROPRIATE UTILITY COMPANY.
 - G. SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS IN ACCORDANCE WITH GOVERNING ORDINANCES MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. SAID CONTROL DEVICES SHALL BE PER THE MANUAL OF TRAFFIC CONTROL DEVICES, M.U.T.C.D., CURRENT EDITION, AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - H. TRAFFIC CONTROLS AND OTHER WARNING DEVICES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY WORK ON CITY OR COUNTY ROADS. THEY SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL THE CONCLUSION OF ALL WORK.
 - I. ALL WARNING DEVICES SHALL BE EITHER TYPE I BARRICADES OR DRUMS WITH WARNING LIGHTS ON EVERY OTHER DEVICE. THEY SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND THE CITY OF APOPKA FOR COLOR, SIZE, REFLECTIVITY, HEIGHT, AND PLACEMENT.
 - J. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES.
 - K. CONTRACTOR SHALL SHORE AND BRACE ALL EARTH, FORMS, CONCRETE, STEEL, WOOD, AND MASONRY TO RESIST GRAVITY, EARTH, WIND, THERMAL, CONSTRUCTION, AND MISCELLANEOUS LOADS DURING CONSTRUCTION.
 - L. ON-SITE BURIAL OF DEBRIS IS PROHIBITED.
 - M. UNLESS OTHERWISE NOTED THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED MATERIALS TO THE ENGINEER. DESIGN DOCUMENTS SHALL NOT BE REPRODUCED AS SHOP DRAWINGS.
 - N. IN CASE OF UNFORESEEN CONSTRUCTION COMPLICATIONS OR DISCREPANCIES, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
 - O. ALL REQUIRED TESTING REPORTS SHALL BE AVAILABLE AT THE JOB SITE.
 - P. AS-BUILT DRAWINGS OF ROADWAYS, STORM DRAINS, SANITARY SEWER AND WATER LINES, FIELD APPROVAL BY THE ENGINEER, AND ALL APPLICABLE BONDS ARE REQUIRED PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
 - Q. CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL EXISTING BUILDINGS THROUGHOUT CONSTRUCTION UNLESS APPROVAL FOR SERVICE INTERRUPTION IS OBTAINED FROM THE OWNERS IN ADVANCE.
 - R. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
 - S. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
 - T. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY HIMSELF, HIS SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
 - U. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS, ETC.
 - V. THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL THE SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THE CONTRACTOR WILL INDEMNIFY THE OWNER & OWNER'S REPRESENTATIVE FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
 - W. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, BLASTING, PUBLIC INFRASTRUCTURE, STORMWATER REGULATIONS, ETC.

CONTRACTOR RESPONSIBILITIES (CONT.):

- X. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- Y. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- Z. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.

DEMOLITION INFORMATION:

1. NOTIFICATIONS:
THE CONTRACTOR SHALL NOTIFY THE OWNER AND CITY INSPECTOR(S) 24 HOURS PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
2. DISPOSAL GUIDELINES:
 - A. ONLY ITEMS SPECIFICALLY NOTED TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE.
 - B. REMOVE EXISTING PAVED AREAS AS SHOWN INCLUDING DRIVEWAYS, SIDEWALKS, PARKING AREAS, SERVICE AREAS, EQUIPMENT PADS, AND ALL MISCELLANEOUS PAVING.
 - C. ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. BACKFILL ALL TRENCHES AND EXCAVATIONS RESULTING FROM DEMOLITION.
 - D. ALL DEMOLISHED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. TREE PROTECTION GUIDELINES:
PROTECT ALL EXISTING TREES NOTED "TO REMAIN" AND ALL ITEMS TO BE TURNED OVER TO THE OWNER DURING DEMOLITION. TAKE ALL NECESSARY PRECAUTIONS AND PROTECTIVE MEASURES. ANY EXISTING ITEMS TO BE TURNED OVER TO THE OWNER WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. TREES WHICH ARE DAMAGED WILL BE REPLACED OR REIMBURSED AT A RATE TO BE DETERMINED BY THE OWNER.
4. UTILITIES:
 - A. PRIOR TO REMOVING OR ABANDONING ANY UTILITY THE CONTRACTOR SHALL VERIFY THAT NO UPSTREAM SERVICE WILL BE TERMINATED. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY TERMINATION NOT SHOWN ON THE PLANS.
 - B. ALL ABANDONED WATER LINES, STORM SEWER PIPE, SANITARY SEWER PIPES, GAS LINES, OR ANY OTHER ABANDONED UNDERGROUND UTILITY SHALL BE ABANDONED IN PLACE UNLESS NOTED OTHERWISE.

SITE INFORMATION:

1. THE FOLLOWING ARE APPLICABLE TO ALL CIVIL DOCUMENTS:
 - A. WHERE A DETAIL SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED ON THE PLANS.
 - B. EXISTING AND PROPOSED CONTOURS ARE AT ONE (1) FOOT INTERVALS.
 - C. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - D. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE.
 - E. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.

EROSION AND SEDIMENT CONTROL INFORMATION:

1. COMPREHENSIVE:
 - A. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
 - B. PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL BE AT A MINIMUM IN CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - C. FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE STANDARDS SPECIFIED IN THE FLORIDA STORMWATER EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL.
 - D. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - E. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - F. THE CONSTRUCTION OF THE SITE WILL COMMENCE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVEWAYS HAVE BEEN PAVED.
 - G. CONSTRUCTION EXITS SHALL BE CONSTRUCTED AT EACH POINT OF ENTRY OR EXIT FROM THE SITE AND SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE AS CONDITIONS DEMAND, REPAIR, AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OFF SITE ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. ACCESS POINTS PROTECTED WITH A CONSTRUCTION EXIT SHALL BE OTHERWISE BARRICADED UNTIL THE SITE IS STABILIZED.

CONCRETE INFORMATION (SITE WORK ONLY):

1. PRODUCT CRITERIA:
 - A. UNLESS OTHERWISE NOTED CEMENT SHALL BE TYPE I OR III CONFORMING TO ASTM C150. AGGREGATES SHALL BE NORMAL WEIGHT CONFORMING TO ASTM C33.
 - B. CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318-89). UNLESS NOTED CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 P.S.I.
 - C. SLUMP SHALL BE 3" TO 5" FOR REGULAR MIX. LARGER SLUMP SHALL BE PERMITTED WITH WATER REDUCING ADMIXTURES AND WRITTEN CONSENT OF THE ENGINEER.
 - D. THE RELATIONSHIP BETWEEN MAXIMUM AGGREGATE SIZE TO MINIMUM AMOUNT OF CEMENT IN CONCRETE PAVEMENT (L.B. PER C.Y. OR MIX) SHALL BE AS FOLLOWS: 1" - 520, 3/4" - 540, 1/2" - 590, 3/8" - 610.
2. CURING CRITERIA:
 - A. CONCRETE CURING SHALL COMPLY WITH ACI 308. CURING PROCESS SHALL START IMMEDIATELY FOLLOWING INITIAL SET. CURING SHALL BE BY CURING COMPOUND.
 - B. CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH ACI 318-89 TABLE 4.1.1. NORMAL WEIGHT CONCRETE SLABS SHALL HAVE AIR CONTENT IN ACCORDANCE WITH ACI 302.1R-89 TABLE 5.2.7A.
 - C. HOT WEATHER CONCRETING SHALL COMPLY WITH ACI 305. NO CONCRETE ABOVE 90 DEGREES FAHRENHEIT SHALL BE POURED. LOWER CONCRETE TEMPERATURE BY COOLING WATER AND AGGREGATE. FORMS, STEEL, AND SUBGRADE SHALL BE SPRINKLED WITH COLD WATER. AFTER FINISHING CONCRETE USE LIGHT FOG SPRAY UNTIL CURING COMPOUND IS USED.
 - D. COLD WEATHER CONCRETING SHALL COMPLY WITH ACI 306. SPECIAL MATERIAL PROCEDURES SHALL BE PROVIDED DURING PLACING AND CURING OF CONCRETE BELOW 40 DEGREES FAHRENHEIT.
 - E. CURING, HOT, AND COLD WEATHER CONCRETING PROCEDURES ARE ONLY GIVEN AS A GUIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT CONCRETE DAMAGE AND CRACKS. DAMAGED OR CRACKED CONCRETE WILL NOT BE ACCEPTED.

REINFORCING STEEL INFORMATION (SITE WORK ONLY):

1. PRODUCT CRITERIA:
 - A. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 AND GRADE 40 FOR #3 AND SMALLER BARS. MINIMUM LAP 48" DIAMETER.
 - B. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, MINIMUM LAP SHALL BE 8".
 - C. REINFORCING THAT IS WELDED SHALL BE WELDABLE TYPE AND CONFORM TO ASTM A-706.

PAVEMENT INFORMATION:

1. PAVEMENT:
 - A. ALL MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION, AND WORKMANSHIP SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, FOOT, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
 - B. SEE PAVEMENT DETAILS ON CONSTRUCTION DOCUMENTS FOR SPECIFIC DESIGN INFORMATION AND REQUIREMENTS.
 - C. ALL CURB AND GUTTER TO BE 24" AND CONSTRUCTED OF 3000 P.S.I. CONCRETE UNLESS OTHERWISE NOTED.
2. SIGNING AND STRIPING:
 - A. SIGNING AND STRIPING TO BE PROVIDED BY THE CONTRACTOR ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.
 - B. ALL STRIPING TO BE THERMOPLASTIC UNLESS OTHERWISE NOTED.

STORM SEWER NOTES:

1. REINFORCED CONCRETE PIPE SHALL BE RCP CLASS II UNLESS OTHERWISE NOTED WITH BELL-AND-SPIGOT AND GASKETED JOINTS WITH ASTM C 443 RUBBER GASKETS.
2. FILL HEIGHTS OVER 13' REQUIRE CLASS IV RCP STORM PIPE.
3. STORM INLETS SHALL BE PRECAST IN ACCORDANCE WITH CITY OF APOPKA PUBLIC WORKS SPECIFICATIONS WHICH MEET OR EXCEED ASTM C 478.
4. ALL MANHOLE FRAMES AND COVERS ARE TO BE PER CITY OF APOPKA PUBLIC WORKS STANDARD DETAIL FOR DIMENSIONS AND MATERIALS AND AS BELOW IF NOT OTHERWISE INDICATED. FERROUS; 24-INCH (610-MM) ID BY 7- TO 9-INCH (175- TO 225-MM) RISER WITH 4-INCH- (102-MM-) MINIMUM WIDTH FLANGE AND 26-INCH- (660-MM-) DIAMETER COVER. INCLUDE INDENTED TOP DESIGN WITH LETTERING CAST INTO COVER, USING WORDING EQUIVALENT TO "STORM SEWER."
5. MATERIAL: GRAY IRON ASTM A48 CLASS 30 UNLESS OTHERWISE INDICATED.
6. ALL HDPE PIPE SHALL BE CORRUGATED HIGH DENSITY POLYETHYLENE SMOOTH INTERIOR PIPE. HDPE PIPE SHALL CONFORM TO ASTM D3505 WITH SOIL TIGHT JOINTS.
7. ALL HDPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND AASHTO SECTION 30.
8. CONTRACTOR TO PROVIDE AND INSTALL MANUFACTURER RECOMMENDED FITTINGS ON RCP CONNECTIONS TO HDPE STRUCTURES.
9. REFER TO PIPE CHART FOR CASTING TYPES. INSTALL REDUCERS AS NECESSARY PER MANUFACTURER'S SPECIFICATIONS TO ACCOMMODATE LARGER INLET SIZES.
10. FOLLOW CONSTRUCTION PLANS AND MANUFACTURER DETAILS, SPECIFICATIONS, AND INSTALLATION INSTRUCTIONS AS INCLUDED WITHIN THE PLANS AND PROVIDED BY MANUFACTURER FOR THE INSTALLATION OF WATER QUALITY AND DETENTION SYSTEMS.
11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM SEWER PIPE, STRUCTURES, WATER QUALITY STRUCTURES, AND DETENTION STRUCTURES FOR ENGINEER AND OWNER APPROVAL PRIOR TO ORDERING MATERIALS.

CLEARING AND GRUBBING:

- A. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- B. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION LINE SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- C. NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- D. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST ANY TREES TO REMAIN.
- E. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS.
- F. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK
- E. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING.
- F. AFTER STAKING IS COMPLETED, TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES WHICH REQUIRE TREE WELLS WITHIN THE GRADING LIMITS.
- G. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 15 CALENDAR DAYS.

GRADING NOTES:

- A. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. DRAINAGE SHALL ROUT AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT THE LOSS OF TOPSOIL MATERIAL.
- B. UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS AND COVERED WITH TOPSOIL AND SEEDED.
- C. FILL AREA SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RE-COMPACTION OF THESE SOILS SHALL BE TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- D. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RE-COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- E. ALL GRADING SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS.
- F. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
- G. GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 10 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- H. SOILS TESTING LABORATORY/ SOILS ENGINEER, CONTRACTOR WILL EMPLOY A QUALIFIED SOILS TESTING LABORATORY/ ENGINEER TO OBSERVE THIS WORK AND MAKE TESTS AS REQUIRED.
- I. HAVE EARTH BORROW FILL, AGGREGATE, TOPSOIL, AND STRUCTURAL FILL TESTED AND APPROVED BY DESIGNATED TESTING LABORATORY BEFORE MOVING IT TO THE JOB SITE.
- J. CONTRACTOR SHALL OBSERVE PROOF-ROLLING OF AREAS WHERE BUILDING AND PAVING WILL BE LOCATED TO DETERMINE ADEQUACY OF SOIL COMPACTION AND IN-PLACE SOILS. OTHER AREAS WILL BE IN PLACE SOILS. OTHER ENGINEER TO DETERMINE ADEQUACY IN THOSE AREAS. IF SOILS ARE NOT ADEQUATE TO BEAR WEIGHTS THAT WILL BE IMPOSED, TESTING LABORATORY WILL OBSERVE AND REPORT CORRECTIVE ACTION TAKEN.
- K. TEST IN-PLACE SOIL AND FILLED AND COMPACTED AREAS. IF THESE ARE NOT ADEQUATE TO BEAR WEIGHTS IMPOSED, TESTING LABORATORY WILL ADVISE THE OWNER'S REPRESENTATIVE OF THEIR RECOMMENDATIONS. HE WILL DIRECT ANY CORRECTIVE MEASURES THAT ARE NECESSARY.
- L. SOILS COMPACTION TESTING OF IN-PLACE AND FILLED AND COMPACTED AREAS WILL BE PERFORMED BY TESTING LABORATORY IN ACCORDANCE WITH THEIR REQUIREMENTS.
- M. THE SOILS ENGINEER'S AND TESTING LABORATORY'S FEES WILL BE PAID BY THE CONTRACTOR.
- N. APPLICABLE SPECIFICATIONS FOR COMPACTED FILL: THE FOLLOWING CURRENT AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) STANDARDS ARE HEREBY MADE PART OF THIS SPECIFICATION:
 - D421-68, DRY PREPARATION OF SOIL SAMPLES FOR GRAIN-SIZE ANALYSIS AND DETERMINATION OF SOIL CONSTANTS.
 - D422-63, STANDARD METHOD OF PARTICLE SIZE ANALYSIS OF SOILS.
 - D1140-54, METHOD OF TEST FOR AMOUNT OF MATERIAL IN SOILS FINER THAN NO.200 SIEVE.
 - D698, METHOD FOR LABORATORY COMPACTION CHARACTERISTICS OF SOIL USING STANDARD EFFORT
 - D1557-74, STANDARD TEST METHODS FOR MOISTURE-DENSITY RELATIONS OF SOILS AND SOIL-AGGREGATE MIXTURES USING 10 LB. (4.54-KG) RAMMER AND 18-INCH (457 MM) DROP.
- O. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL LOCATIONS UNLESS OTHERWISE NOTED.
- P. CONTRACTOR SHALL REVIEW THE SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO COMMENCING WITH GRADING OPERATIONS. WHERE CONFLICTS BETWEEN THE GRADING NOTES AND GEOTECHNICAL REPORT EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

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REVISIONS

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Church's CHICKEN

T0006
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BLOSSOM TRAIL
APOPKA, FL 32703

DRAWN BY: LVA CHECKED BY: TJM

CONTENTS:

GENERAL NOTES

3/29/2018

118220041

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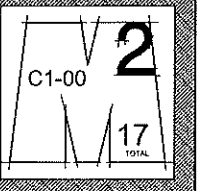
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DRAWN BY:	CHECKED BY:
LVA	TJM

CONTENTS:
 EXISTING CONDITIONS AND DEMOLITION PLAN

3/29/2018

118220041
 JOB NUMBER



SITE LEGEND

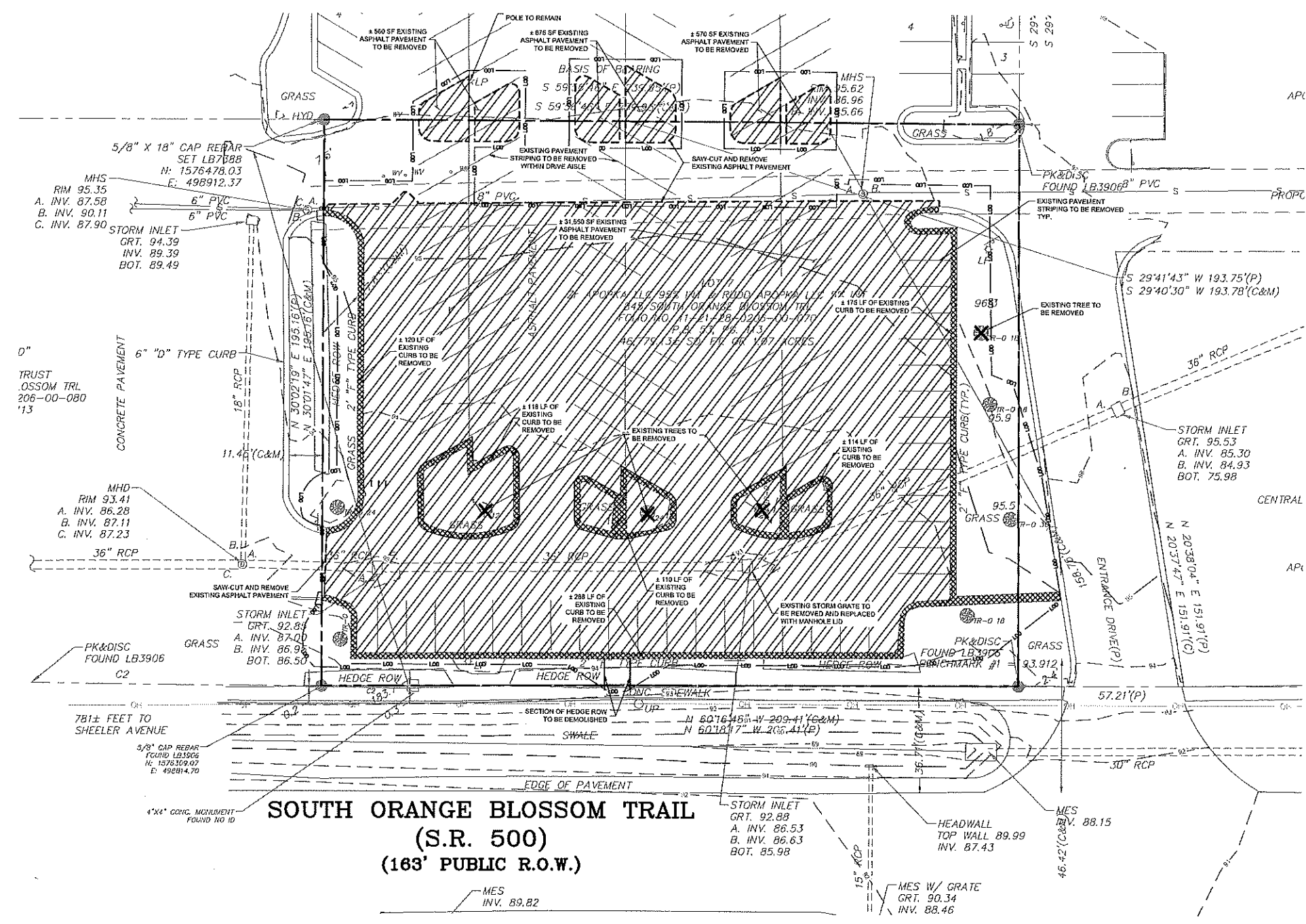
---	PROPERTY LINE
---	LIMITS OF DISTURBANCE
⊙	SANITARY SEWER MANHOLE
---	SANITARY SEWER PIPE
●	TREE
★	PALM TREE
☼	LIGHT POLE
---	STORMWATER PIPE
---	STORMWATER INLET
○	WATER VALVE
⊕	FIRE HYDRANT
○	UTILITY POLE
---	OVERHEAD WIRE

DEMOLITION LEGEND

▨	EXISTING PAVEMENT TO BE REMOVED
▩	EXISTING CURB TO BE REMOVED
---	SAW-CUT AND REMOVE EXISTING PAVEMENT
X	TREE REMOVAL

NOTES

- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
- ALL EXISTING PAVEMENT STRIPING TO BE REMOVED ON-SITE.



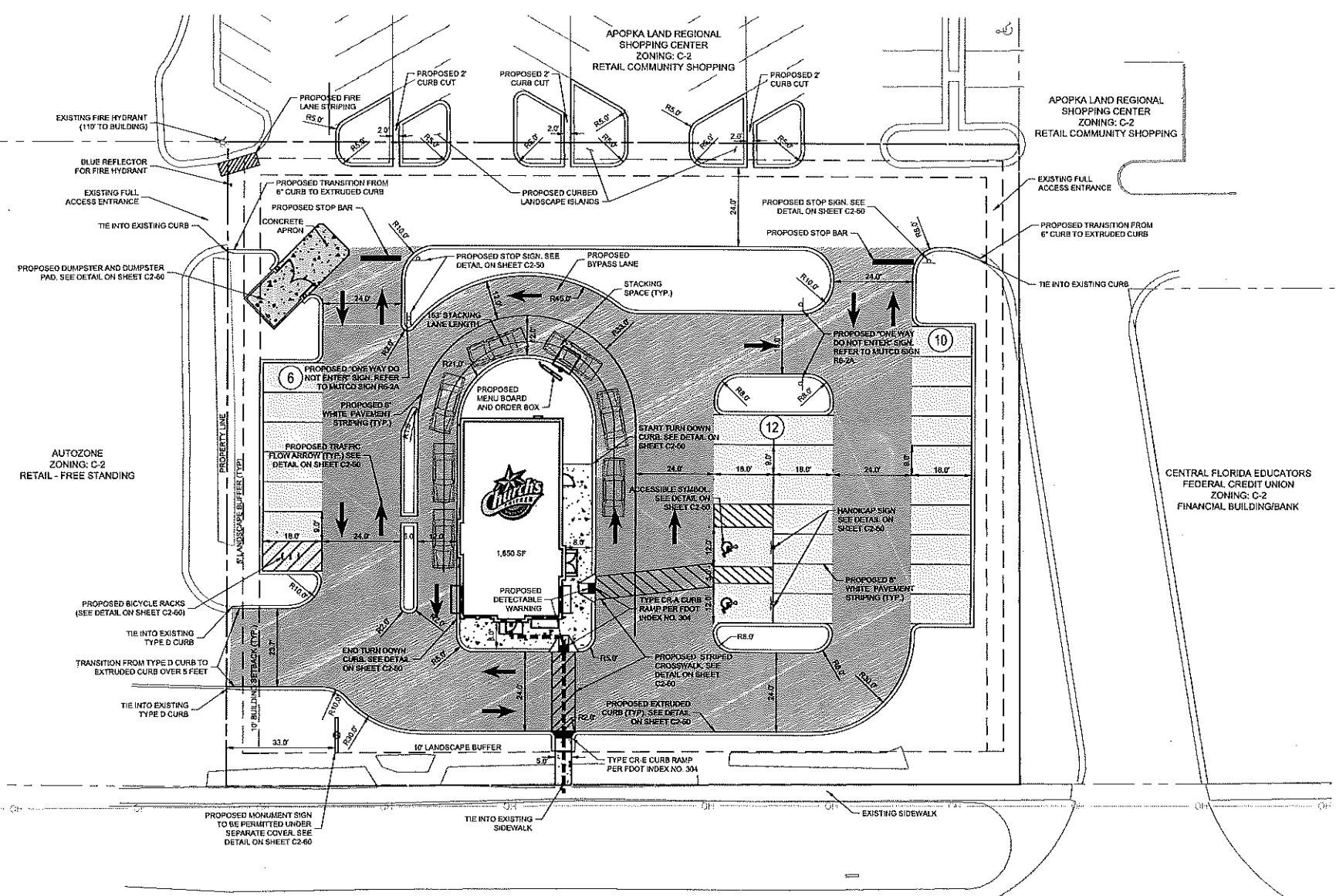
SOUTH ORANGE BLOSSOM TRAIL
 (S.R. 500)
 (163' PUBLIC R.O.W.)



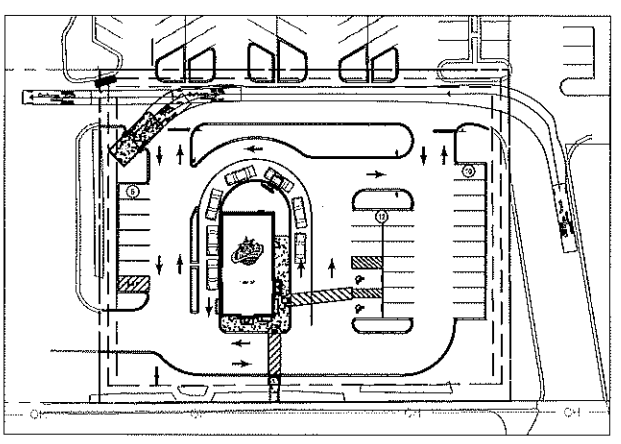
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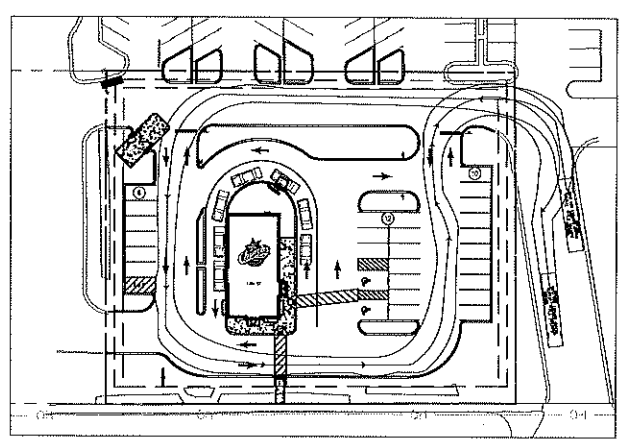
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SOUTH ORANGE BLOSSOM TRAIL
 (S.R. 500)
 (163' PUBLIC R.O.W.)



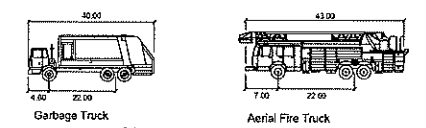
GARBAGE TRUCK CIRCULATION PLAN
 SCALE: 1" = 50'



FIRE TRUCK CIRCULATION PLAN
 SCALE: 1" = 50'

EXISTING PARKING DATA		
	EXCLUDING CHURCH'S CHICKEN LOT	INCLUDING CHURCH'S CHICKEN LOT
SHOPPING CENTER REQUIRED PARKING	1,010 SPACES	1,010 SPACES
EXISTING SHOPPING CENTER PARKING	655 SPACES	963 SPACES*
PROPOSED SHOPPING CENTER PARKING	855 SPACES**	881 SPACES

** 12 OF THESE SPACES ARE SPLIT BETWEEN THE TWO PARCELS, AND WILL BE CONVERTED TO LANDSCAPE ISLANDS PER CITY COMMENTS REGARDING OPPOSITE IMPROVEMENTS. PARKING FOR SHOPPING CENTER EXCLUDING CHURCH'S CHICKEN LOT TO REMAIN UNCHANGED.



GARBAGE TRUCK PROFILE		FIRE TRUCK PROFILE	
Width	Height	Width	Height
4'6"	8'0"	7'0"	11'0"
Turn	8'6"	Turn	8'0"
Lock to Lock Time	5.0"	Lock to Lock Time	4.0"
Steering Angle	27.4°	Steering Angle	33.3°



SITE LEGEND	
	PROPOSED MONUMENT SIGN
	ADA PARKING SPACE
	EXTRUDED CURB
	PROPERTY LINE
	SIGN
	PARKING SPACE COUNT
	DIRECTIONAL ARROW
	ACCESSIBLE RAMP WITH DETECTABLE WARNING
	PEDESTRIAN ROUTE

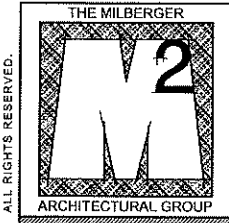
PAVEMENT LEGEND	
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	CONCRETE SIDEWALK
	HEAVY DUTY CONCRETE

SITE DATA	
ZONING DISTRICT	GENERAL COMMERCIAL (C-2)
SOIL TYPE	TAVARES-HILL HOPPER COMPLEX (0 TO 5 PERCENT SLOPES) HYDROLOGIC SOIL GROUP A
PARKING	1 SPACER/4 FIXED SEATS + 1 SPACER/5 SPATRON AREA WITHOUT FIXED SEATS + 31 SEATS/4 + 504 SF/75+ 15 SPOTS
PARKING PROVIDED:	28 SPOTS
STACKING SPACES PROVIDED:	7 SPOTS
IMPERVIOUS SURFACE AREA	EXISTING: 61.1% PROPOSED: 72.6%
LANDSCAPING	ILA EXISTING: 2,073 SF ILA REQUIRED: 2,093 SF ILA PROPOSED: 3,537 SF
OPEN SPACE PROVIDED:	27.4%
PAVEMENT QUANTITIES	HEAVY DUTY ASPHALT: 17,560 SF LIGHT DUTY ASPHALT: 5,120 SF CONCRETE SIDEWALK: 780 SF HEAVY DUTY CONCRETE: 410 SF
CURB QUANTITIES	EXTRUDED CURB: 1,730 LF TURN-DOWN CURB: 105 LF

- SITE LAYOUT NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADI ARE 3' UNLESS OTHERWISE NOTED.
 - ALL CURB AROUND SIDEWALKS TO BE TURN-DOWN AS PER DETAIL 7 ON SHEET C2-50.
 - INSTALL CONCRETE JOISTS WHERE SHOWN ON PLANS AND DETAILS. ALIGN ON WALLS, BUILDINGS, RADI, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOISTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS (WALLS, CURBS, ETC.). LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - LAYOUT ALL ELEMENTS IN FIELD AND CONTACT OWNERS REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL LANDSCAPE ISLANDS SHALL BE MOUNDING WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
 - ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - ALL SIDEWALKS WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER CITY OF APOPKA PUBLIC WORKS STANDARDS.
 - SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
 - REFER TO ARCHITECTURAL PLAN FOR STRIPING WITHIN THE BUILDING.
 - ALL TREE GRATES SHALL BE ADA COMPLIANT AND 120 TRAFFIC RATED.
 - FIRE LANE STRIPING TO BE 4' X 12' IN FRONT OF FIRE HYDRANT SERVING SITE PER DISCUSSION WITH CITY OF APOPKA FIRE MARSHAL.

- PUBLIC WORKS NOTES**
- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
 - THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 - ALL ROW DEDICATIONS ARE TO BE RECORDED PRIOR TO ISSUANCE OF THE BUILDING PERMITS.

- JOINT ACCESS AND PARKING NOTES**
- THE FOLLOWING PROVISIONS OF THE RECORDED DOCUMENTS BELOW JOINT ACCESS/PARKING FOR THE SUBJECT PARCEL AND ADJOINING PROPERTIES: EASEMENTS/RESTRICTIONS BOOK 3694, PAGE 95, SECTION 5(A); EASEMENTS/RESTRICTIONS BOOK 6870, PAGE 4202, SECTION 2.2



REVISIONS	
A	
B	
C	
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G	
A	

THE MILBERGER ARCHITECTURAL GROUP, LLC
 7500 South Memorial Parkway
 Suite 215K
 Huntsville, AL 35802
 (256) 534-0657
 www.m2architects.com



T0006
 845 SOUTH ORANGE BLOSSOM TRAIL
 APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
LVA	TJM

CONTENTS:

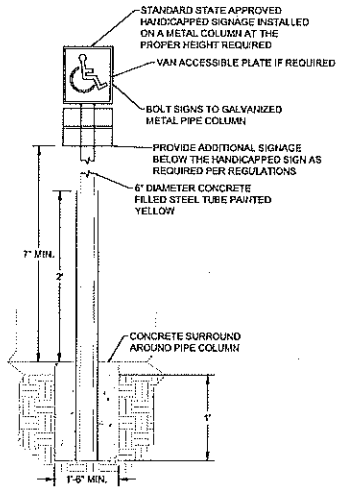
SITE PLAN	17
TOTAL	17

3/29/2018

118220041
 JOB NUMBER

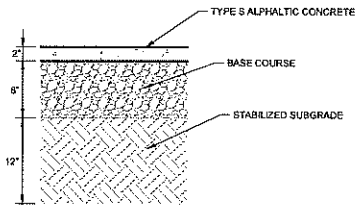


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 214 Oceanside Drive, Nashville, TN 37204
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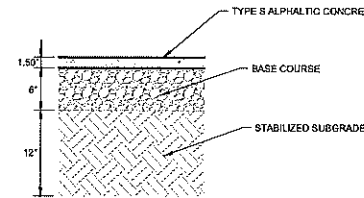
1 HANDICAP SIGN DETAIL VAN ACCESSIBLE
NOT TO SCALE

NOTES:
1. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
3. LIMEROCK/CRUSHED CONCRETE BASE COURSE (LBR=100) OR SOIL CEMENT (350 PSI DESIGN OR EQUIVALENT)
4. STABILIZED SUBGRADE (LBR = 40) IF A LIMEROCK/CRUSHED CONCRETE BASE IS USED OR A SUBGRADE COMPACTED TO 98 PERCENT OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY IF SOIL CEMENT IS USED AS BASE MATERIAL.

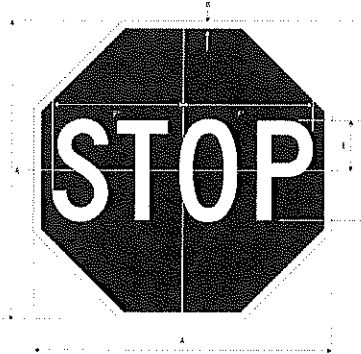


2 TYPICAL HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

NOTES:
1. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
3. LIMEROCK/CRUSHED CONCRETE BASE COURSE (LBR=100) OR SOIL CEMENT (350 PSI DESIGN OR EQUIVALENT)
4. STABILIZED SUBGRADE (LBR = 40) IF A LIMEROCK/CRUSHED CONCRETE BASE IS USED OR A SUBGRADE COMPACTED TO 98 PERCENT OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY IF SOIL CEMENT IS USED AS BASE MATERIAL.



3 TYPICAL LIGHT DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

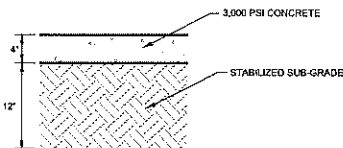


4 STOP SIGN DETAIL
NOT TO SCALE

M2									
ARCHITECTURAL GROUP									
15	275	6	55	1	725				
24	825	8	65	1	10				
29	75	13	120	5	125				
30	245	10	100	0	15				
30	150	12	N/C	0	20				

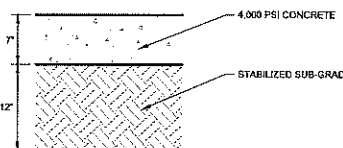
COLORS: LEGEND - WHITE (UNREFLECTED)
BACKGROUND - RED (REFLECTIVE)
1:1

NOTES:
1. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
3. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
4. WELL-DRAINING GRANULAR SUBGRADE, COMPACTED TO 98 PERCENT OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY.
5. PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C.
6. PLACE CONTROL JOINTS AT A MAXIMUM OF 15' O.C.

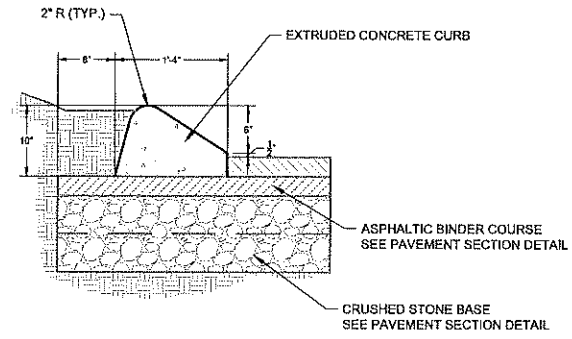


5 TYPICAL CONCRETE SIDEWALK SECTION
NOT TO SCALE

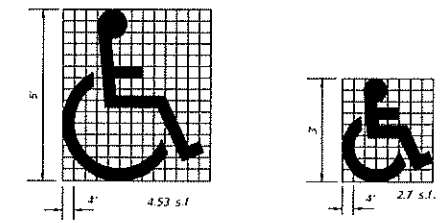
NOTES:
1. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. BROOM FINISH SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
3. PROPOSED PAVEMENT SECTIONS SHOWN HEREIN ARE PRELIMINARY. FINAL PAVEMENT DESIGN SHALL BE PROVIDED BY A LICENSED GEOTECHNICAL ENGINEER, BASED ON SITE CONDITIONS AND SOIL PROPERTIES FOUND DURING CONSTRUCTION.
4. WELL-DRAINING GRANULAR SUBGRADE, COMPACTED TO 98 PERCENT OF THE MATERIAL'S ASTM D-1557 MAXIMUM DRY DENSITY.
5. PLACE EXPANSION JOINTS AT A MAXIMUM OF 75' O.C.
6. PLACE CONTROL JOINTS AT A MAXIMUM OF 15' O.C.



6 TYPICAL CONCRETE PAVEMENT SECTION
NOT TO SCALE



7 EXTRUDED CURB DETAIL
NOT TO SCALE

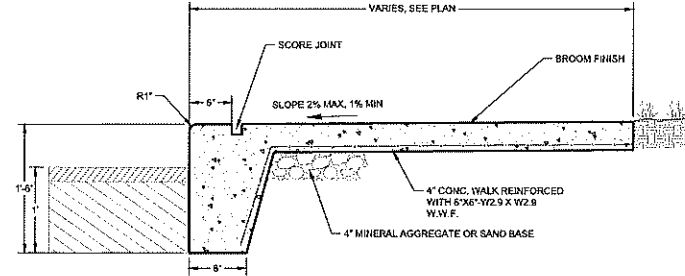


Use of pavement symbol in accessible parking spaces is optional, when used the symbol shall be 3' or 5' high and white in color.

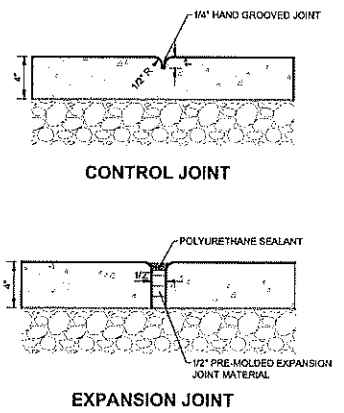
UNIVERSAL SYMBOL OF ACCESSIBILITY

8 ACCESSIBLE SYMBOL DETAIL
NOT TO SCALE

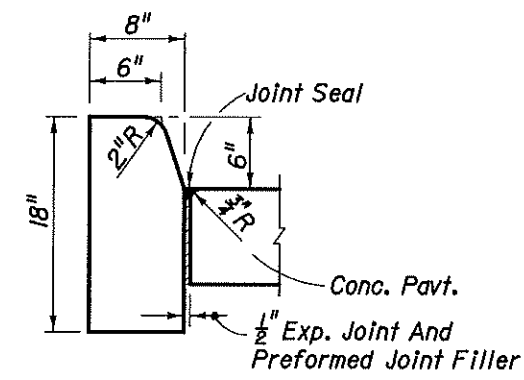
NOTES:
1. USE 3,000 PSI CONCRETE
2. USE GRADE 60 STEEL
3. PROVIDE CONTROL JOINTS @ 5' CENTERS
4. PROVIDE EXPANSION JOINTS @ 20' CENTERS AND WHERE SIDEWALKS ABUT RIGID MATERIAL



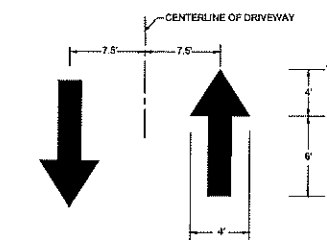
9 SIDEWALK W/ TURN DOWN CURB
NOT TO SCALE



10 SIDEWALK JOINTS
NOT TO SCALE



11 TYPE D CURB
NOT TO SCALE



NOTE: ALL PAVEMENT DIRECTIONAL ARROWS TO BE REFLECTIVE WHITE PAINT

12 TRAFFIC FLOW ARROW DETAIL
NOT TO SCALE



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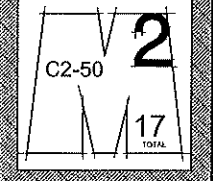
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DRAWN BY:	CHECKED BY:
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CONTENTS:
SITE DETAILS 1

3/29/2018

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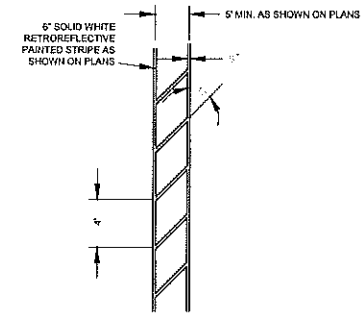
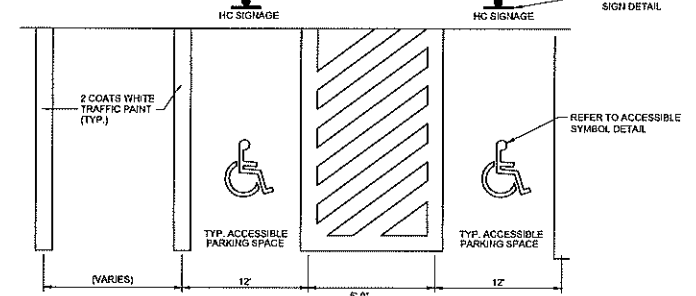
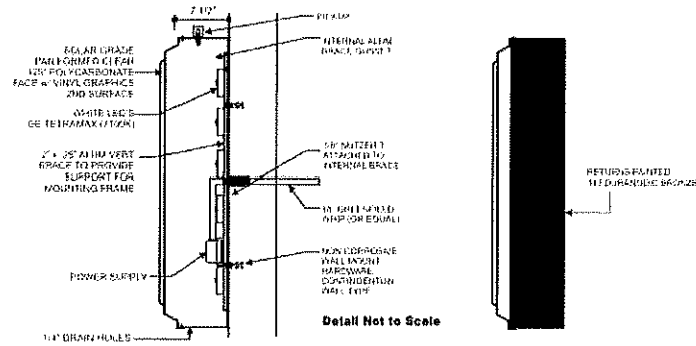
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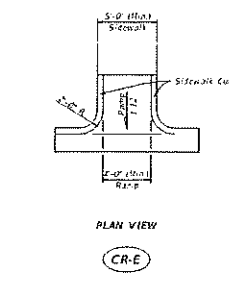
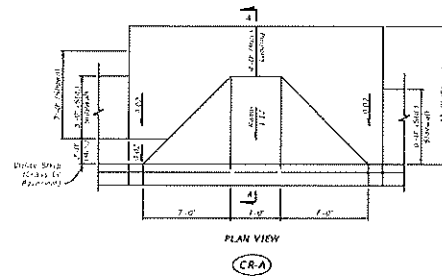
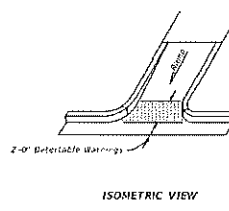
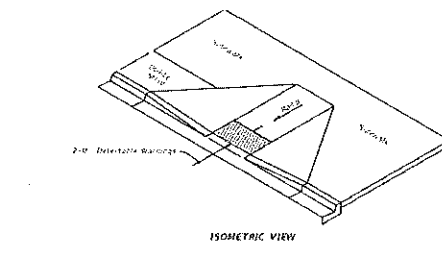
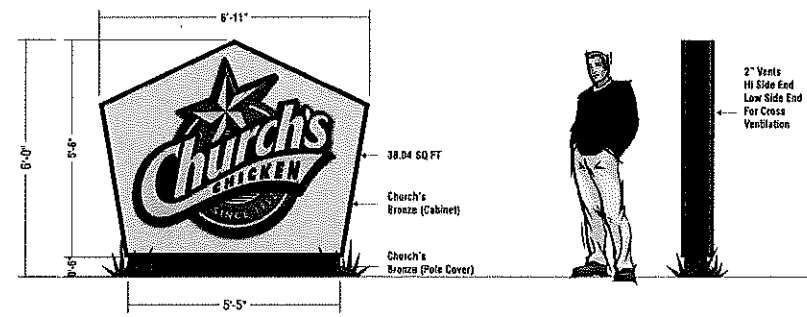


SIGN TYPE	SIGN SIZE	SQUARE FOOTAGE	CLEAR SPACE
WS-41	6'-0" X 6'-9 1/2"	40.57 SF	0'-7"

1 WALL SIGN DETAIL
NOT TO SCALE

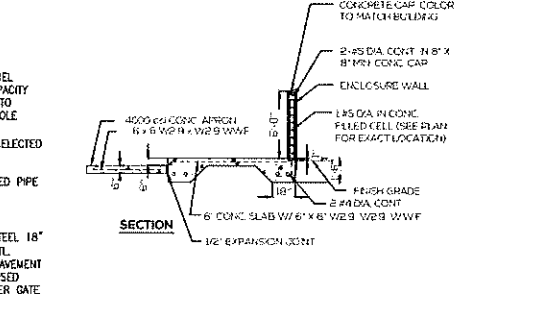
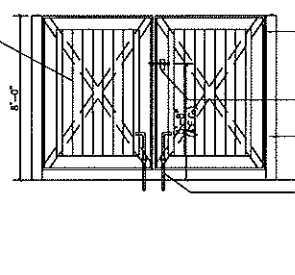
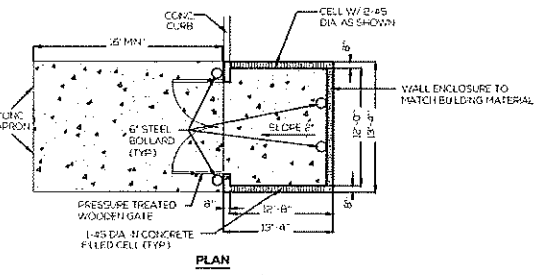
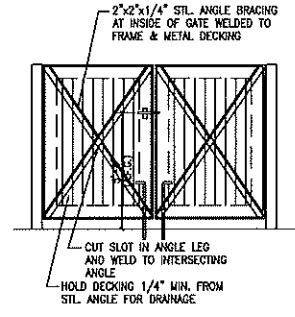


- NOTES:
1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
 2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITH STRIPED AREA.
 3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

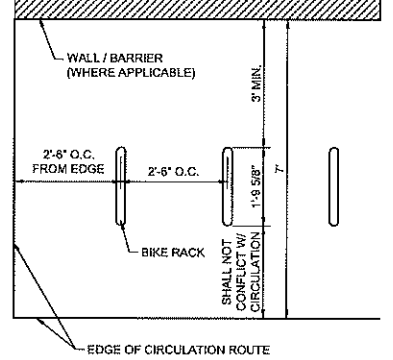
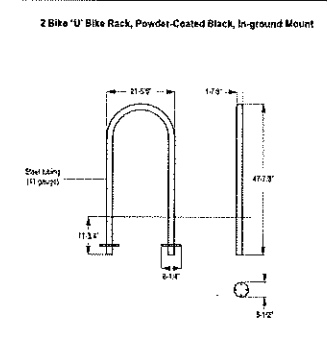


5 CR-A CURB RAMP DETAIL
NOT TO SCALE

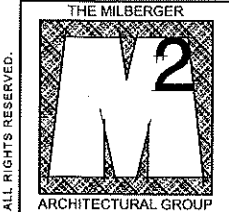
5 CR-E CURB RAMP DETAIL
NOT TO SCALE



7 CONCRETE DUMPSTER PAD W/ SCREEN WALL
NOT TO SCALE



8 BICYCLE RACK DETAIL
NOT TO SCALE



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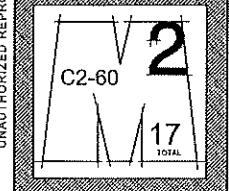


T0006
845 SOUTH ORANGE
BLOSSOM TRAIL
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3/29/2018
118220041
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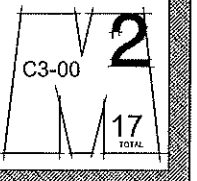
T0006
 845 SOUTH ORANGE BLOSSOM TRAIL
 APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
LVA	TJM

CONTENTS:
 EROSION AND SEDIMENT CONTROL PLAN PHASE I

3/29/2018

118220041
 JOB NUMBER



GENERAL LEGEND

---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	LIMITS OF DISTURBANCE
---	PROPOSED PROPERTY LINE

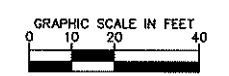
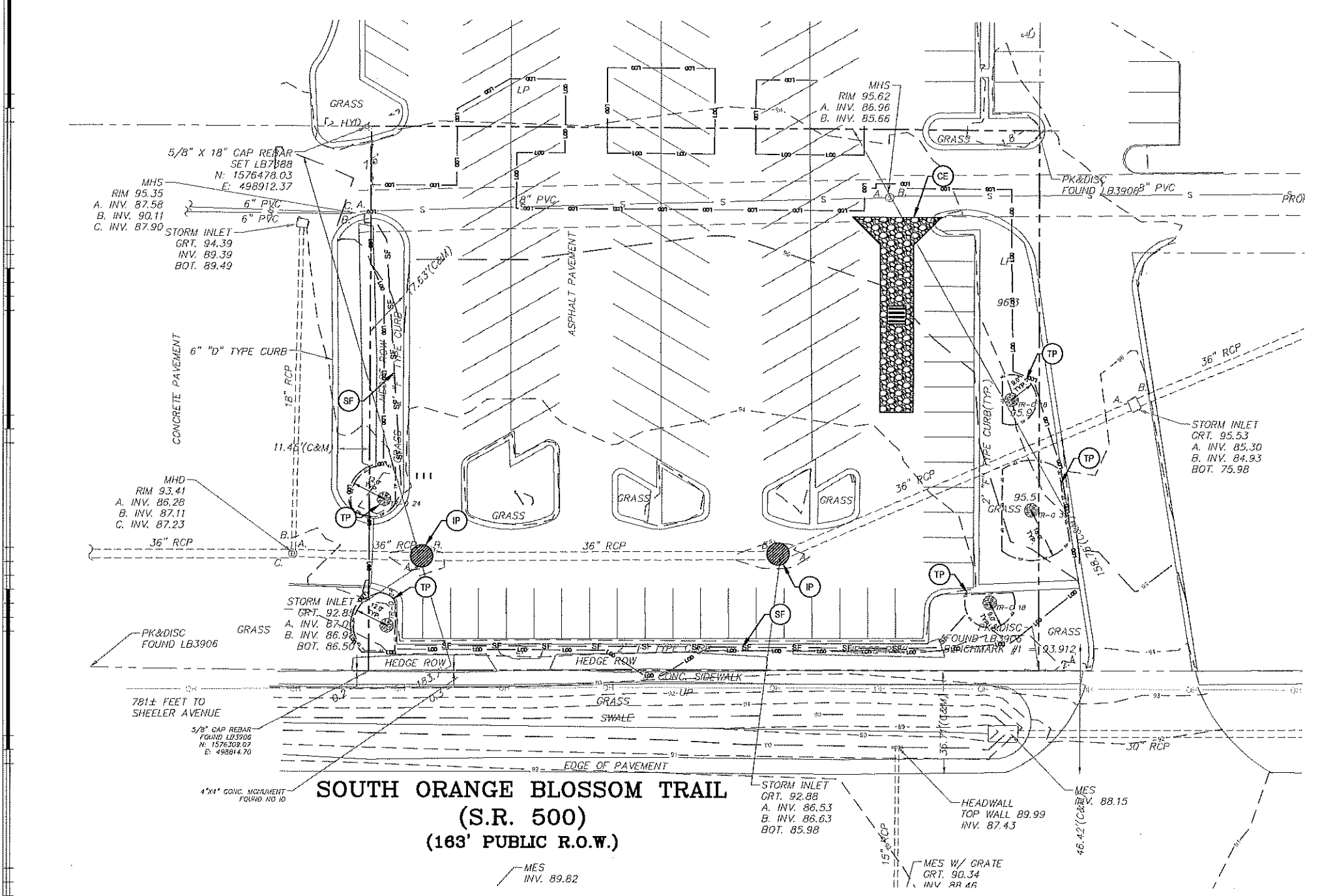
EROSION CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
4.3	CONSTRUCTION ENTRANCE	CE	
4.5	EXISTING STORM DRAIN INLET PROTECTION	IP	
7.4	TEMPORARY SEEDING	TS	
7.9	TREE PRESERVATION	TP	

(TS) (PS) (MU)
 SHALL BE IMPLEMENTED
 ACROSS SITE AS NEEDED.

- PHASE 1 CONSTRUCTION SEQUENCE**
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
 - INSTALL PERIMETER CONTROLS, INLET PROTECTION AT EXISTING STORM DRAIN STRUCTURES, AND OTHER MEASURES AS SHOWN ON PLANS.
 - ALL PHASE 1 EROSION AND SEDIMENT CONTROL DEVICES MENTIONED ABOVE ARE TO BE APPROVED BY THE CITY INSPECTOR PRIOR TO PROCEEDING WITH CLEARING AND GRADING WORK.
 - BEGIN DEMOLITION AND CLEARING AS SHOWN ON DEMOLITION PLAN.

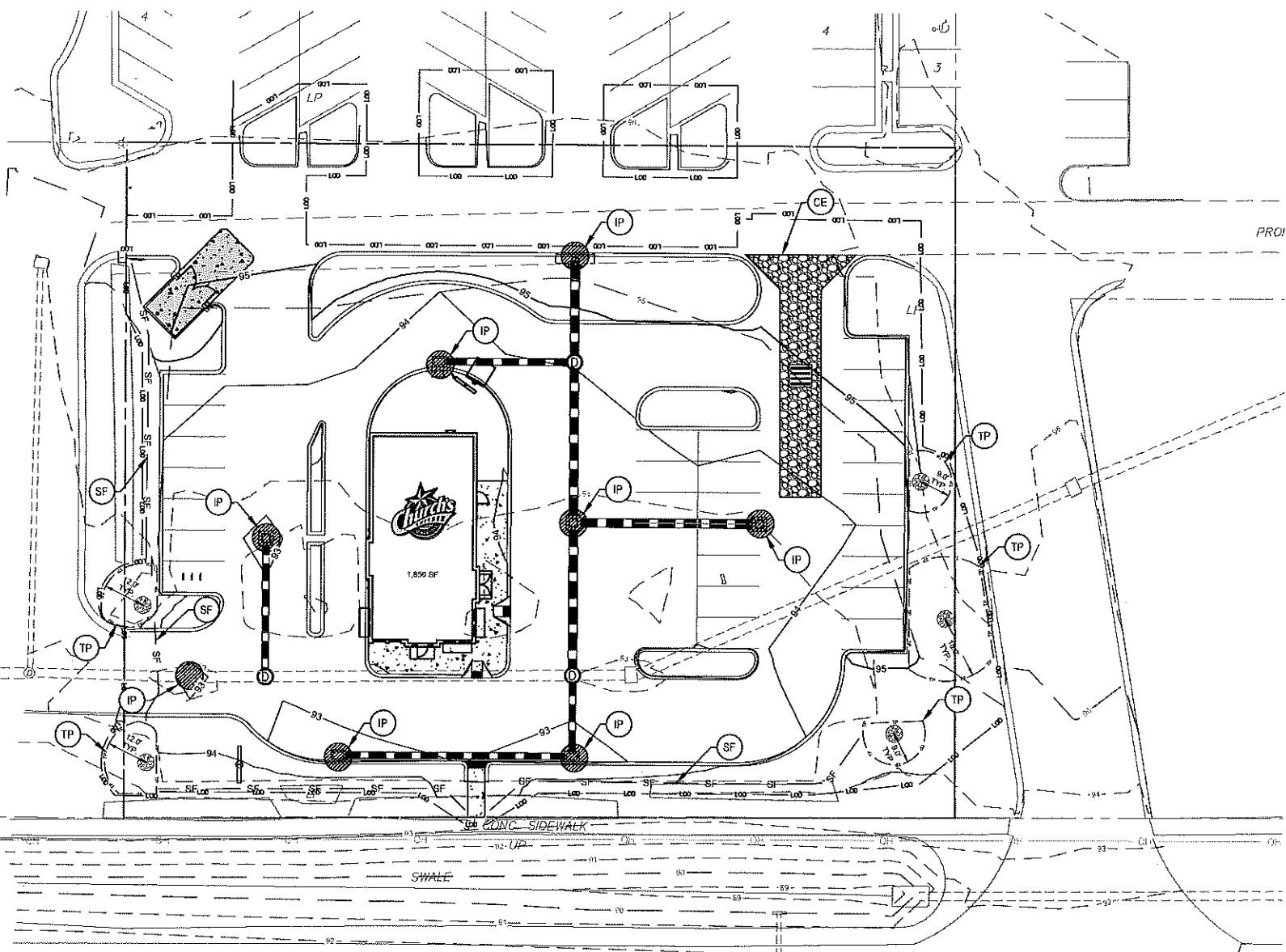
- EROSION CONTROL NOTES**
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
 - ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
 - CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
 - MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEASURES NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
 - REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
 - PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
 - DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
 - STABILIZATION MEASURES (SEED & MULCH, TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES.
 - WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
 - ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL. DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
 - CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH FDEP STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS OIL CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTORS MANUAL, U.S. DEPARTMENT OF AGRICULTURE.
 - THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY AGENCY FLOOD INSURANCE RATE MAP #12095C0140F, EFFECTIVE SEPTEMBER 25, 2009.
 - CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE BY THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.
 - THE TOTAL DISTURBED AREA IS 48 97 ACRES.
 - THIS PLAN SHALL BE USED IN CONJUNCTION WITH THE EROSION CONTROL NOTES AND DETAILS ON SHEET C3-90.



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**SOUTH ORANGE BLOSSOM TRAIL
(S.R. 500)
(163' PUBLIC R.O.W.)**

- PHASE 2 CONSTRUCTION SEQUENCE**
- BEGIN GRADING OPERATIONS AS SHOWN ON THE GRADING PLAN AFTER ALL PHASE 1 CONTROL DEVICES AND SITE CONDITIONS HAVE BEEN APPROVED BY THE CITY INSPECTOR.
 - BEGIN FOUNDATIONS.
 - INSTALL STORM SEWER SYSTEM AND INLET PROTECTION ON ALL NEW STRUCTURES.
 - BEGIN INSTALLING UTILITIES SUCH AS THE WATER MAIN SYSTEM AND SANITARY SYSTEM. FRANCHISE UTILITIES SUCH AS POWER, GAS, PHONE, CABLE, ETC. SHALL BE INSTALLED AS SPECIFIED BY OTHERS.
 - BEGIN AND STABILIZE SITE WORK (WITH BASE STONE FOR ASPHALT AND CONCRETE WORK, FOR EXAMPLE) AS SOON AS POSSIBLE.
 - INSTALL CURBS AND OTHER SITE IMPROVEMENTS AS PER PLAN.
 - FINE GRADE BASE STONE, INSTALL ASPHALT PAVEMENT AND CONCRETE PAVEMENT AS PER PLAN.
 - DRESS AND OVERSEED ALL DISTURBED AREAS.
 - PAVE AND STRIPE AS PER PLAN.
 - STABILIZE SITE (INCLUDING TOPSOILING AND SEEDING)
 - REMOVE AND DISPOSE OF SEDIMENTS THAT HAVE ACCUMULATED ONSITE AND IN THE DRAINAGE PIPES.
 - PLANT TREE AND VEGETATION AS SHOWN ON THE SITE LANDSCAPE PLANS.
 - SITE SHALL BE STABILIZED AND ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES READY FOR REMOVAL WITHIN 30 DAY OF FINAL SITE STABILIZATION. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM CITY OF APOPKA PRIOR TO REMOVAL OF EAS MEASURES.

GENERAL LEGEND

— 04 —	PROPOSED MAJOR CONTOUR LINE
- 04 -	PROPOSED MINOR CONTOUR LINE
- 01 -	EXISTING MAJOR CONTOUR LINE
- 04 -	EXISTING MINOR CONTOUR LINE
- 100 -	LIMITS OF DISTURBANCE
- - - - -	PROPOSED PROPERTY LINE

EROSION CONTROL LEGEND

NO.	TITLE	KEY	SYMBOL
4.3	CONSTRUCTION ENTRANCE	CE	
4.4.1	SILT FENCE	SF	
4.5	PROPOSED STORM DRAIN INLET PROTECTION	IP	
7.4	TEMPORARY SEEDING	TS	
7.5	PERMANENT SEEDING	PS	
7.7	MULCHING	MU	
7.9	TREE PRESERVATION	TP	

(TS) (PS) (MU)
SHALL BE IMPLEMENTED
ACROSS SITE AS NEEDED.

- EROSION CONTROL NOTES**
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCKPILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
 - ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
 - CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
 - MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
 - REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% FILLED WITH SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND, WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
 - PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
 - DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
 - STABILIZATION MEASURES (SEED & MULCH TRIM WHERE INDICATED) SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, EXCEPT IN THE FOLLOWING TWO CASES:
 - WHERE THERE IS SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE OR WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 15 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
 - ALL EROSION CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY DURING PROLONGED RAINFALL. DAILY CHECKING IS NECESSARY. DOCUMENTATION OF ALL CHECKS AND CORRECTIVE MEASURES SHALL BE KEPT AT THE PROJECT. A MONITORING REPORT CAN BE FOUND IN THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
 - CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT REFUELING IN ACCORDANCE WITH FDEP STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITS.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTORS MANUAL, U.S. DEPARTMENT OF AGRICULTURE.
 - THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY AGENCY FLOOD INSURANCE RATE MAP #2500040E, EFFECTIVE SEPTEMBER 26, 2009.
 - CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.
 - THE TOTAL DISTURBED AREA IS 48.97 ACRES.
 - THIS PLAN SHALL BE USED IN CONJUNCTION WITH THE EROSION CONTROL NOTES AND DETAILS ON SHEET C3-20.



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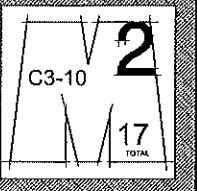
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EROSION AND
SEDIMENT CONTROL
PLAN PHASE II

3/29/2018

118220041
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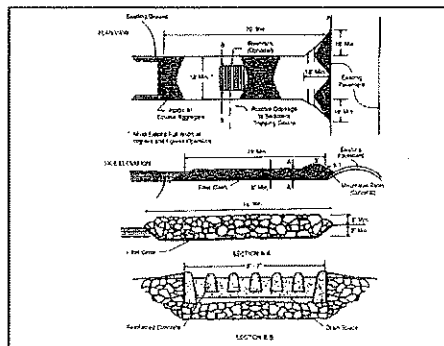


Figure 4.3c. Construction Entrance with Wash Rack
Source: 1983 Maryland Standards for Soil Erosion and Sediment Control

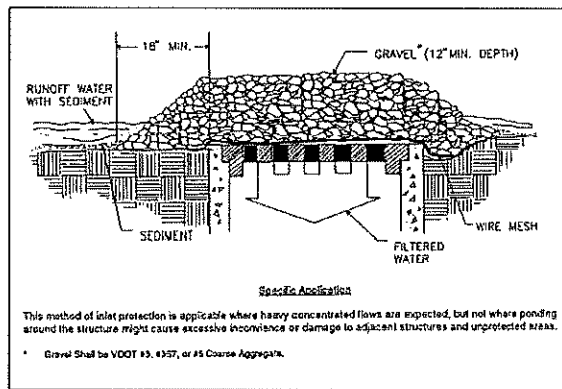


Figure 4.5c. Gravel and Wire Mesh Drop Inlet Sediment Filter
Source: Virginia DSWC

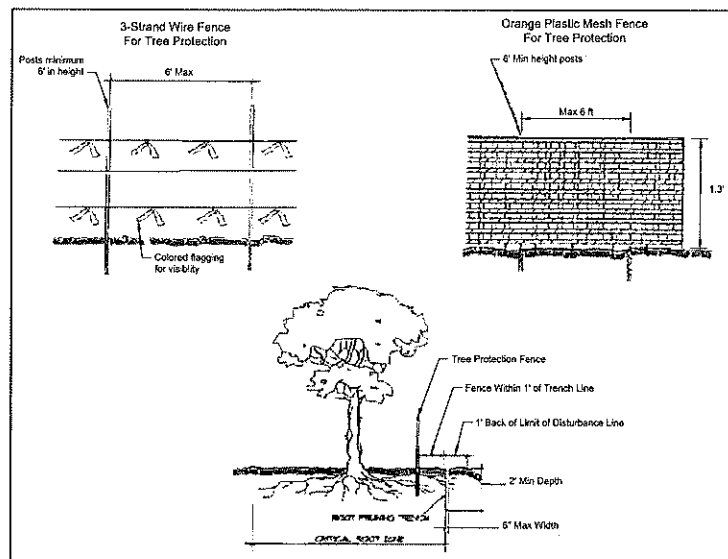


Figure 7.9b. Tree Conservation Area Protection Practices
Source: Montgomery County, Maryland, 1992

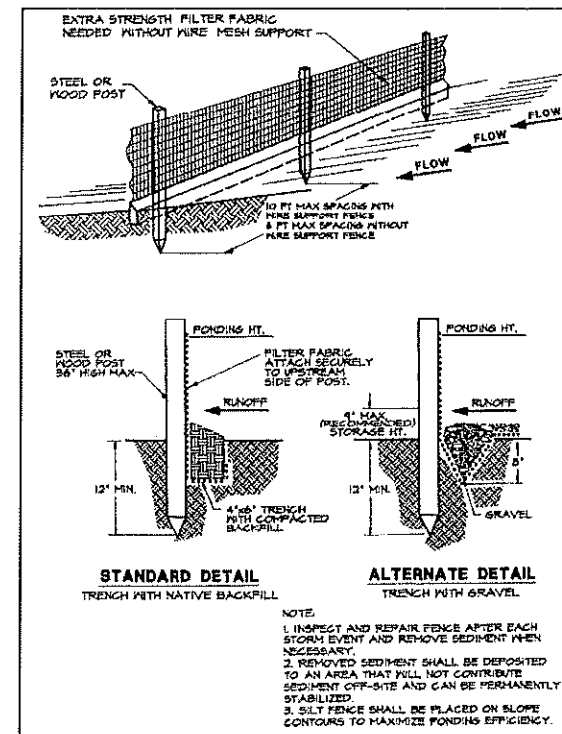


Figure 4.4a. Silt Fence
Source: Erosion Draw

EROSION AND SEDIMENT CONTROL NOTES

7.4 TEMPORARY SEEDING - APPLY TEMPORARY SEEDING TO EXPOSED SOIL SURFACES WHICH WILL NOT BE FINE GRADED FOR A PERIOD OF 7 DAYS OR MORE. LIMING, FERTILIZER, SURFACE ROUGHENING AND TRACKING SHOULD BE USED AS NECESSARY TO AID IN PLANT GERMINATION AND GROWTH AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. SEEDS SHALL BE APPLIED WITH A CYCLONE SEEDER, DRILL, CULTIPACKER-SEEDER OR HYDROSEEDER. SMALL GRAINS SHALL BE PLANTED NO MORE THAN 1 INCH DEEP. GRASSES AND LEGUMES SHALL BE PLANTED NO MORE THAN 1/2 INCH DEEP.

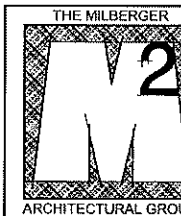
7.5 PERMANENT SEEDING - APPLY PERMANENT SEEDING TO DISTURBED AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL OR TO ROUGH GRADED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE. REFER TO THE FLORIDA DEVELOPMENT MANUAL TO DETERMINE PROPER PLANT MATERIALS AND APPROPRIATE SEEDING MIXTURES. BEFORE PERMANENT SEEDING IS APPLIED, THE EXISTING SOIL MUST HAVE ADEQUATE MOISTURE AND NUTRIENT SUPPLY, SUFFICIENT PORE SPACE, SUFFICIENT DEPTH, ADEQUATE PH LEVELS, AND FREEDOM FROM EXCESSIVE QUANTITIES OF ROOTS, ROCKS AND OTHER OBSTRUCTIONS. IF THESE CRITERIA ARE NOT MET, TOPSOIL MUST BE ADDED PRIOR TO SEEDING. SEEDING SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER-SEEDER, OR HYDROSEEDER. THE MAXIMUM SEEDING DEPTH SHOULD BE 1/2 INCHES.

7.7 MULCHING - MULCHING SHALL BE APPLIED IMMEDIATELY AFTER PERMANENT SEEDING. AREAS THAT CANNOT BE SEEDED BECAUSE OF THE SEASON MUST BE MULCHED TO PROTECT THE SOIL SURFACE. MULCH SHALL BE USED TOGETHER WITH TREE AND SHRUB PLANTING TO STABILIZE SOIL. MULCHING SHALL BE USED IN CONJUNCTION WITH TEMPORARY SEEDING. SEE ADJACENT TABLE 7.1 FOR MULCH MATERIALS AND APPLICATION RATES. PRIOR TO MULCHING, REMOVE ALL ROCKS AND DEBRIS, LIME AND FERTILIZE THE SOIL, AND ROUGHEN THE SURFACE AS NEEDED. MULCH ANCHORING SHALL BE USED AS NEEDED.

Table 7.1. Organic Mulch Materials and Application Rates

Mulches	Rate Per Acre	Rate Per 1,000 Square Feet	Notes
Straw	1.5 - 2 tons	70 - 90 pounds	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Wood Fibers	0.5 - 1.0 tons	25 - 50 pounds	Fibers 1 1/2 inch minimum length. Do not use alone in winter or during hot, dry weather. Apply in clumps.
Corn Stalks	4 - 6 tons	185 - 275 pounds	Cut or shredded in 4 to 8 inch lengths. Air dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 pounds	Free of coarse matter. Air dried. Treat with 15 pounds nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower or strip handler, or by hand.
Shredded Bark Chips	50 - 70 cubic yards	1 - 2 cubic yards	Free of coarse matter. Air dried. Do not use in fine turf areas. Apply with mulch blower or strip handler, or by hand.

Source: Virginia DSWC



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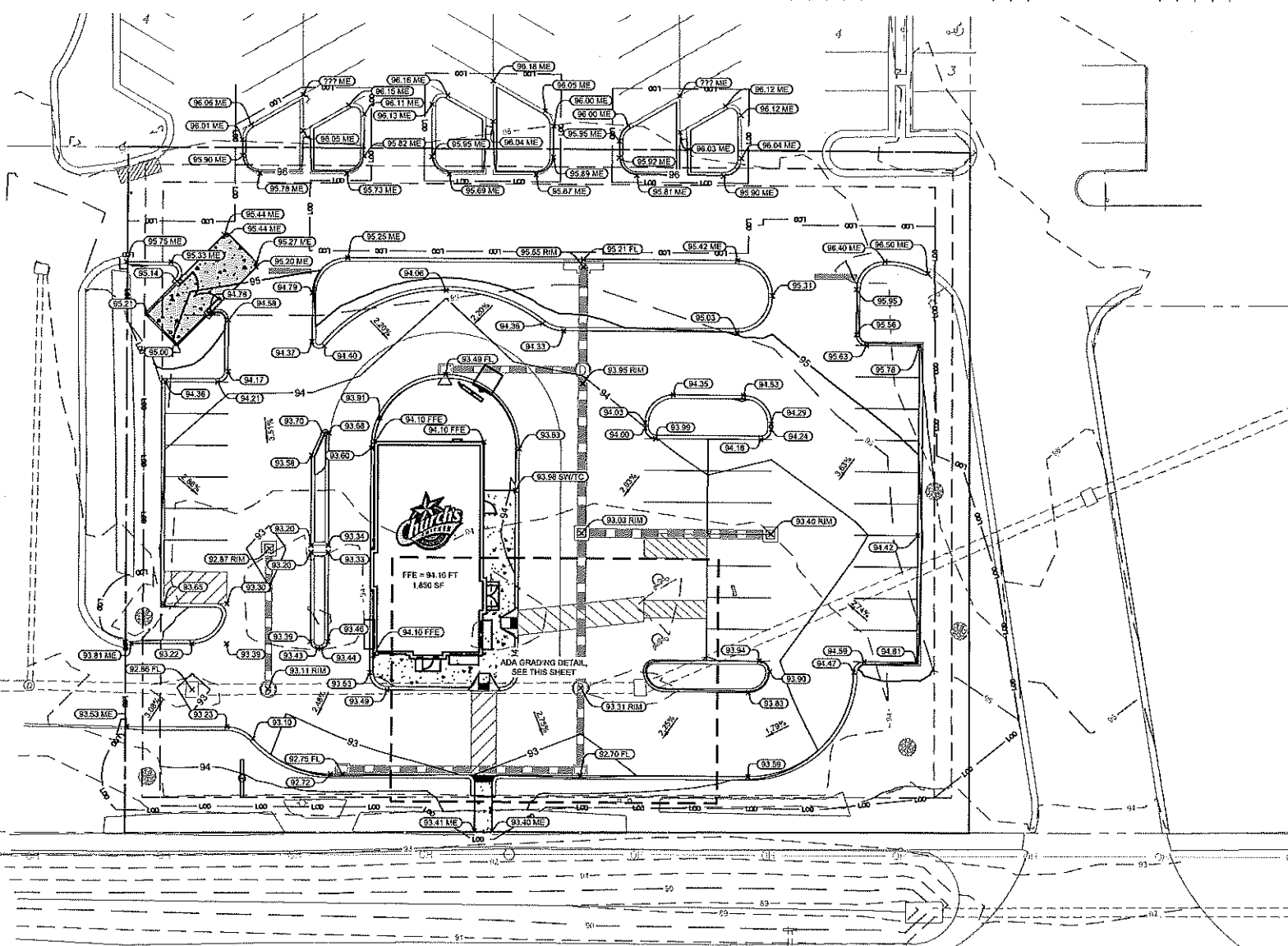
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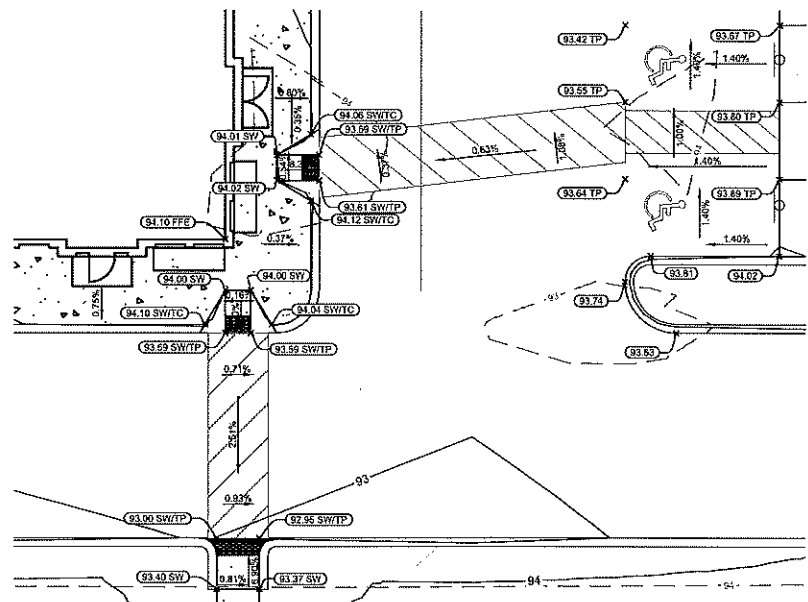
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(163' PUBLIC R.O.W.)**



ADA GRADING DETAIL
SCALE: 1" = 10'

GRADING LEGEND

XXX	PROPOSED MAJOR CONTOUR LINE
XXX	PROPOSED MINOR CONTOUR LINE
XXX	EXISTING MAJOR CONTOUR LINE
XXX	EXISTING MINOR CONTOUR LINE
---	LIMITS OF DISTURBANCE
---	PROPOSED PROPERTY LINE
XXX	SPOT ELEVATION
○	STORMWATER MANHOLE
—○—	STORMWATER PIPE
○	STORMWATER INLET

SPOT ELEVATION LEGEND

ME	MATCH EXISTING ELEVATION
FL	FLOW LINE ELEVATION
RM	RIM ELEVATION
TP	TOP OF PAVEMENT ELEVATION
FFE	FINISHED FLOOR ELEVATION
SW	SIDEWALK ELEVATION

NOTE: ALL SPOT ELEVATIONS ARE BASE OF CURB UNLESS OTHERWISE NOTED

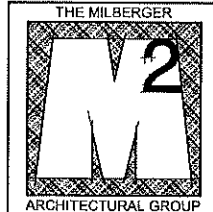
EARTHWORK QUANTITIES

DISTURBED AREA = 42,394 SF = 0.97 AC
 PROPOSED IMPERVIOUS AREA = 33,969 SF = 0.78 AC

CUT = 373 CY
 FILL = 190 CY
 NET EXPORT = 177 CY

NOTE: EARTHWORK QUANTITIES ARE PRELIMINARY AND DO NOT ACCOUNT FOR UNSURABLE MATERIALS. QUANTITIES PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL PERFORM SEPARATE TAKE OFF FOR ESTIMATE.

- GRADING NOTES**
- AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH THE APPLICABLE STATE GENERAL PERMITS FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
 - DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
 - WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER.
 - CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
 - THE GRADING PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
 - EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR MUST CALL FOR AN INSPECTION TO OBTAIN A PERMIT TO GRADE. PLEASE CALL WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
 - SEDIMENTATION CONTROL DEVICES MUST BE INSTALLED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - CONTRACTOR SHALL REVIEW SITE GEOTECHNICAL REPORT BEFORE COMMENCING GRADING OPERATIONS.
 - SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT. REFER TO LANDSCAPING PLANS FOR AREAS TO RECEIVE SO2.
 - INSTALL SO2 OR RIPRAP IN SWALES AS INDICATED ON GRADING PLANS AND EROSION CONTROL PLANS.
 - TOPSOIL ON SITE TO BE STRIPPED AND STOCKPILED FOR REUSE IN LAWN AREAS.
 - ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, DESIGNER, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL ONE CALL-811 OR 1-800-782-8007.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY HASKER CONSULTING P.A. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.



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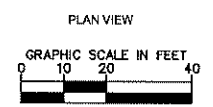
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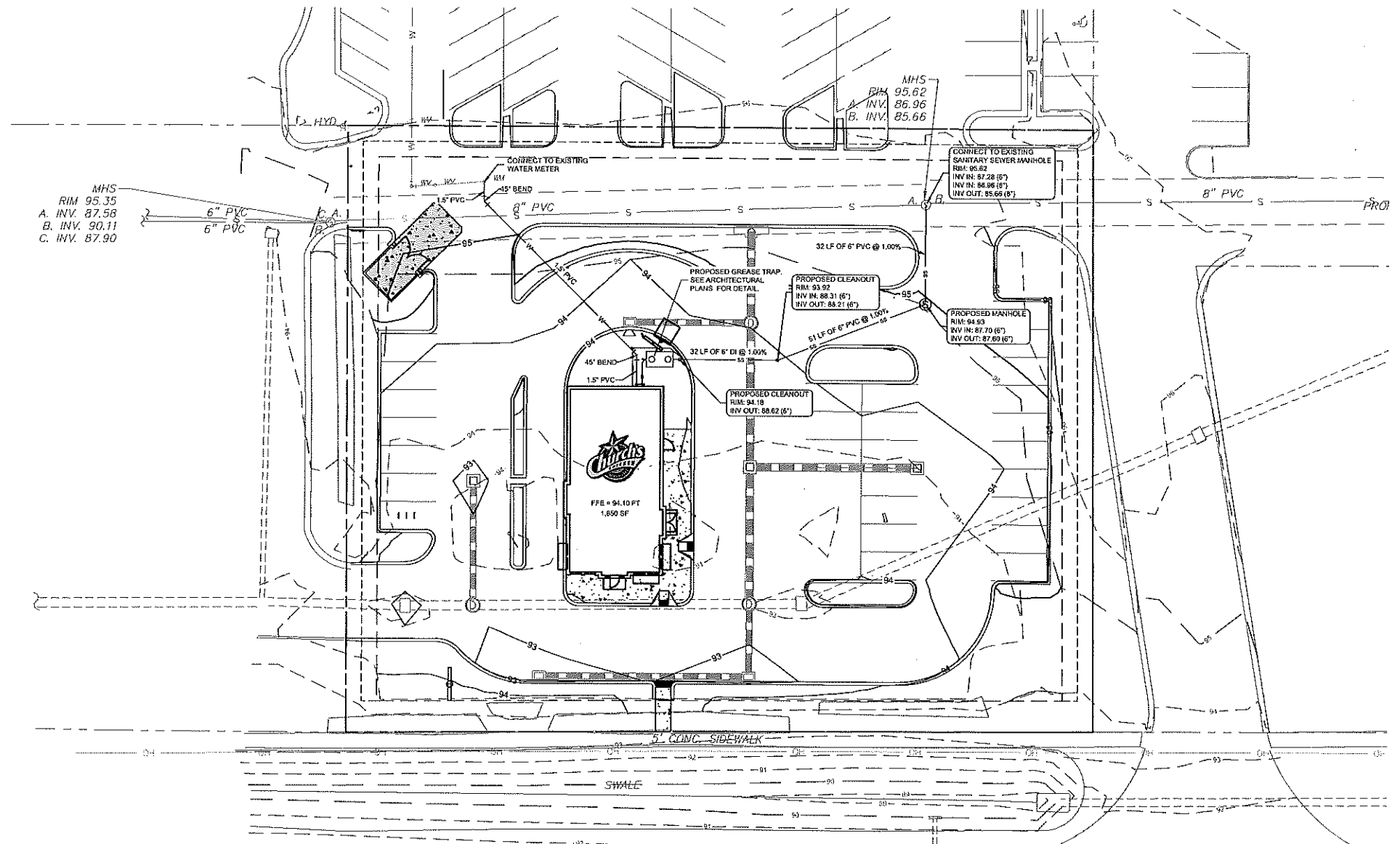
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UTILITY LEGEND

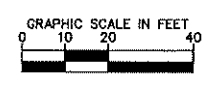
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---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	PROPOSED SANITARY SEWER PIPE
---	EXISTING SANITARY SEWER PIPE
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	EXISTING SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER CLEAN OUT
---	PROPOSED WATER PIPE
---	PROPOSED SANITARY SEWER PIPE
↙	PROPOSED 45° BEND
↘	PROPOSED 90° BEND
---	EXISTING 90° BEND
---	EXISTING TEE CONNECTION

- UTILITY NOTES**
- REFER TO ARCHITECTURAL PLANS FOR ALL UTILITY CONNECTION POINTS TO BUILDING.
 - LOCATION OF EXISTING WATER PIPES IS APPROXIMATE AND ASSUMED BASED ON WATER VALVE LOCATIONS FROM THE SURVEY. FIELD VERIFICATION IS REQUIRED BEFORE CONSTRUCTION.
 - LOCATION OF EXISTING WATER PIPES WERE ALSO ASSUMED BASED ON THE EXISTING 15' WATERLINE EASEMENT SHOWN ON RECORD PLAN FOR APOPKA LAND REGIONAL SHOPPING CENTER (P' IN PLAT BOOK 53, PAGE 115).
 - CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
 - ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CITY OF APOPKA'S STANDARD SPECIFICATIONS.
 - MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER & SANITARY SEWER OR 18" VERTICAL SEPARATION AT CROSSING LOCATIONS.
 - REFER TO CITY OF APOPKA'S STANDARD SPECIFICATIONS FOR PIPE BEDDING REQUIREMENTS.
 - ALL WATER VALVES TO BE LOCATED OUTSIDE OF PAVED AREAS WHERE POSSIBLE.
 - THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS OF WATER & SANITARY SEWER CONSTRUCTION PRIOR TO THE ACCEPTANCE OF THE PUBLIC UTILITIES.
 - CONTRACTOR RESPONSIBLE FOR DISCONNECTING EXISTING WATER SERVICE LINES AT THE PUBLIC MAIN PER CITY OF APOPKA PUBLIC WORKS STANDARDS. PAVEMENT REPAIR SHALL BE DONE IN ACCORDANCE TO METRO PUBLIC WORKS STANDARD.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
 - ALL BACKFLOW PREVENTION DEVICES TO BE INSTALLED INSIDE THE BUILDING. REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION.
 - ALL VALVES SHALL BE INSTALLED IN CITY OF APOPKA APPROVED VALVE BOX AND COVER. COVER TO BE MARKED WITH "WATER".
 - ALL GREASE TRAPS SHALL BE MANUFACTURED AND INSTALLED PER CITY OF APOPKA STANDARDS.

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PHONE: (615) 818-6982

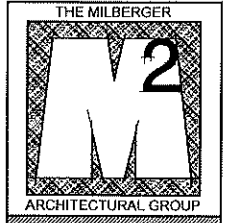
UTILITY AND GOVERNING AGENCIES CONTACT LIST

BUILDING DEPT.	STORMWATER	WATER	SANITARY SEWER
CITY OF APOPKA BUILDING DIVISION RAY MARSH 120 EAST MAIN ST. 2ND FLOOR APOPKA, FL 32703 PHONE: (407) 703-1713	CITY OF APOPKA PUBLIC SERVICES R. JAY DAVOLL 748 EAST CLEVELAND ST. APOPKA, FL 32703 PHONE: (407) 703-1731	CITY OF APOPKA PUBLIC SERVICES R. JAY DAVOLL 748 EAST CLEVELAND ST. APOPKA, FL 32703 PHONE: (407) 703-1731	CITY OF APOPKA PUBLIC SERVICES R. JAY DAVOLL 748 EAST CLEVELAND ST. APOPKA, FL 32703 PHONE: (407) 703-1731
NATURAL GAS LAKE APOPKA NATURAL GAS DISTRICT EVERETT HOLMES 38 NORTH PARK AVE. APOPKA, FL 32703 PHONE: (407) 656-2734 (EXT. 104)	ELECTRIC DUKE ENERGY DANIELLE ESTERS 275 WEST PONKAN RD. APOPKA, FL 32703 PHONE: (407) 464-1220	TELEPHONE/CABLE CHARTER COMMUNICATIONS MARVIN USRY JR. 3767 ALL AMERICAN BLVD. ORLANDO, FL 32810 PHONE: (407) 532-0509	



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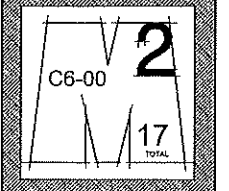


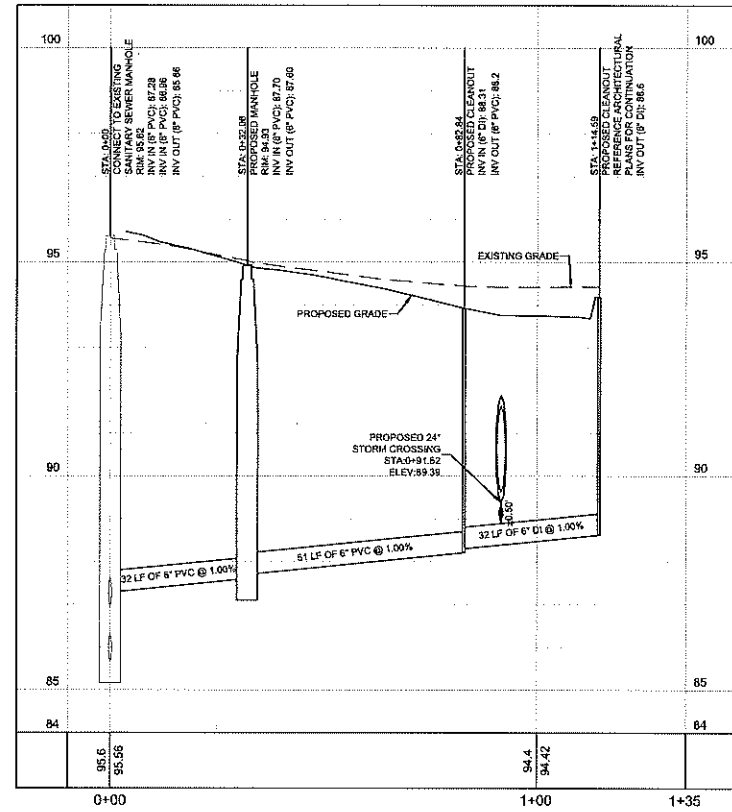
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1 PROPOSED SANITARY SEWER PROFILE
 HORZ. SCALE: 1" = 20' VERT. SCALE: 1" = 2'



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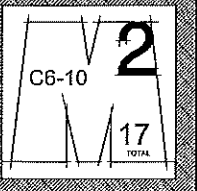
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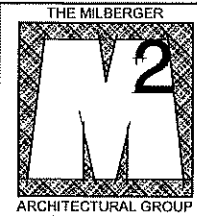


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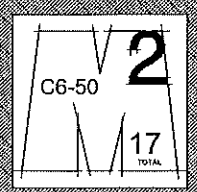
T0006
 845 SOUTH ORANGE
 BLOSSOM TRAIL
 APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
LVA	TJM

CONTENTS:
STORMWATER PLAN

3/29/2018

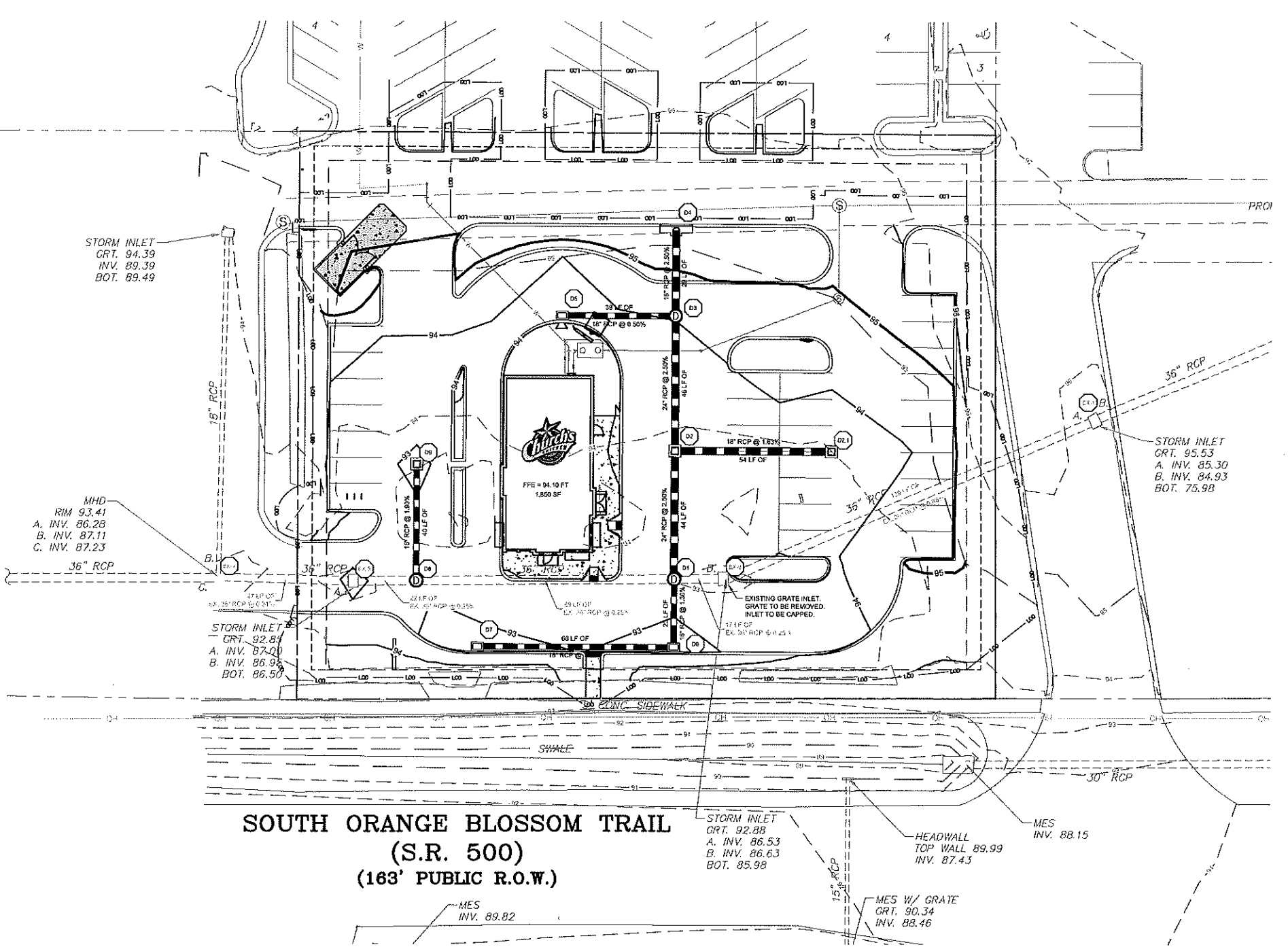
118220041
 JOB NUMBER



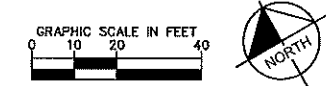
STORMWATER LEGEND	
---	PROPOSED MAJOR CONTOUR LINE
---	PROPOSED MINOR CONTOUR LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	LIMITS OF DISTURBANCE
---	PROPOSED PROPERTY LINE
○	STORMWATER MANHOLE
—	STORMWATER PIPE
□	STORMWATER INLET

- STORMWATER NOTES**
- REFER TO SHEET C6-50 FOR STORMWATER STRUCTURE INFORMATION.
 - CONTRACTOR RESPONSIBLE FOR VERIFYING LOCATION, SIZE, AND ELEVATIONS OF EXISTING UTILITIES AT CONNECTION POINTS PRIOR TO GRADING OR INSTALLATION OF ANY PROPOSED UTILITIES. CONTRACTOR TO IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH SECTION 4.1.4 OF THE FLORIDA GENERAL NPDES PERMIT FOR DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER WATER QUALITY MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
 - THIS LOT DOES NOT LIE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY AGENCY FLOOD INSURANCE RATE MAP #12080C040F, EFFECTIVE SEPTEMBER 25, 2006.
 - CONSTRUCTION SHALL BE COMPLETED WITHIN 12 MONTHS OF THE GRADING PERMIT BEING ISSUED. IF CONSTRUCTION IS NOT COMPLETE IN THAT AMOUNT OF TIME, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY FOR AN EXTENSION OF THE GRADING PERMIT.
 - THE TOTAL DISTURBED AREA IS 10.97 ACRES.

- ST. JOHNS RIVER WATER MANAGEMENT DISTRICT**
- THIS PLAN HAS BEEN APPROVED BY THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRJWMD), PERMIT NUMBER 20244-3, ISSUED JANUARY 16, 2018.
 - A COPY OF THE APPROVED SRJWMD PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.



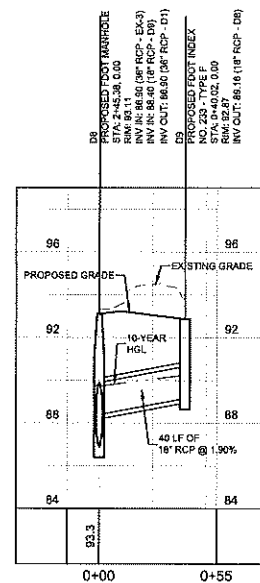
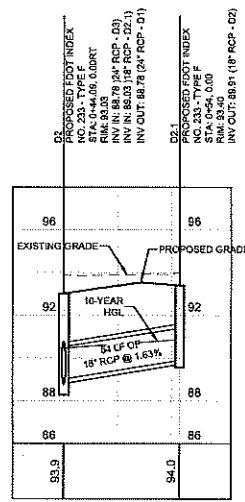
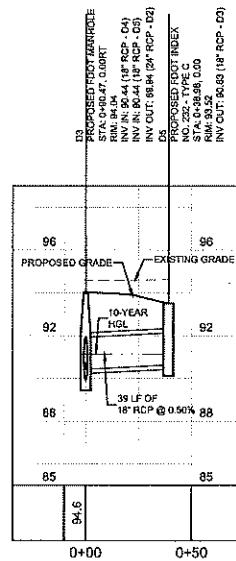
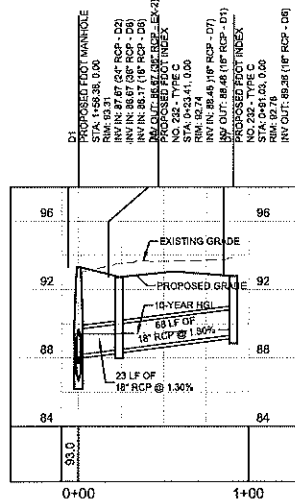
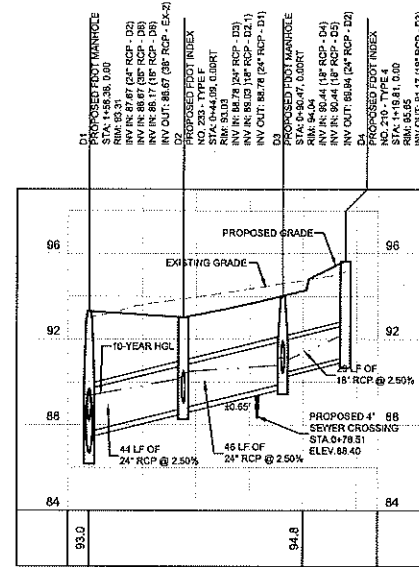
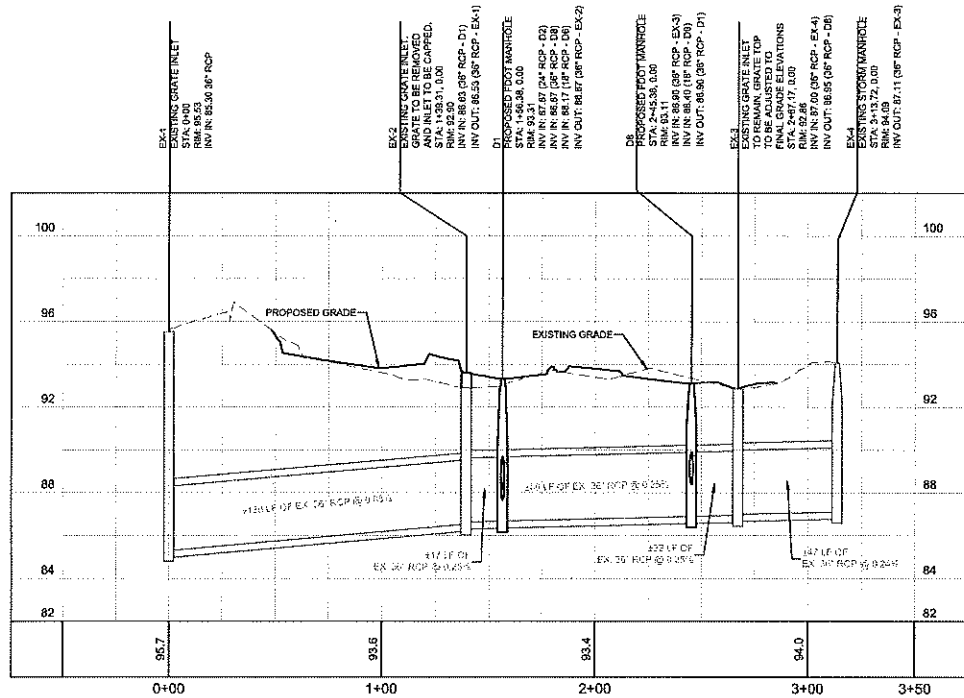
**SOUTH ORANGE BLOSSOM TRAIL
 (S.R. 500)
 (163' PUBLIC R.O.W.)**



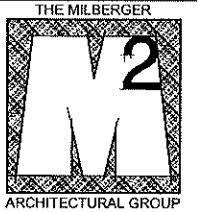
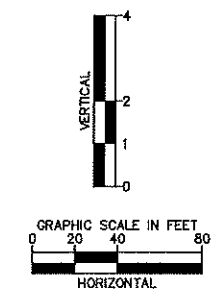
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STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
D1	PROPOSED FDOT MANHOLE RIM: 93.31 INV IN: 87.67 INV IN: 85.67 INV IN: 88.17 INV OUT: 86.67	FROM D2, 24" RCP INV IN: 87.67 @ 2.50% FROM D8, 36" RCP INV IN: 85.67 @ 0.25% FROM D8, 18" RCP INV IN: 88.17 @ 1.30%	TO EX-2, 36" RCP INV OUT: 86.67 @ 0.25%
D2	PROPOSED FDOT INDEX NO. 233 - TYPE F RIM: 93.03 INV IN: 88.78 INV IN: 89.03 INV OUT: 88.78	FROM D3, 24" RCP INV IN: 88.78 @ 2.50% FROM D2.1, 18" RCP INV IN: 89.03 @ 1.63%	TO D1, 24" RCP INV OUT: 88.78 @ 2.50%
D2.1	PROPOSED FDOT INDEX NO. 233 - TYPE F RIM: 93.40 INV OUT: 89.91		TO D2, 18" RCP INV OUT: 89.91 @ 1.63%
D3	PROPOSED FDOT MANHOLE RIM: 94.04 INV IN: 90.44 INV IN: 90.44 INV OUT: 89.94	FROM D4, 18" RCP INV IN: 90.44 @ 2.50% FROM D5, 18" RCP INV IN: 90.44 @ 0.50%	TO D2, 24" RCP INV OUT: 89.94 @ 2.50%
D4	PROPOSED FDOT INDEX NO. 210 - TYPE 4 RIM: 95.65 INV OUT: 91.17		TO D3, 18" RCP INV OUT: 91.17 @ 2.50%
D5	PROPOSED FDOT INDEX NO. 232 - TYPE C RIM: 93.52 INV OUT: 90.53		TO D3, 18" RCP INV OUT: 90.53 @ 0.50%
D6	PROPOSED FDOT INDEX NO. 232 - TYPE C RIM: 92.74 INV IN: 88.48 INV OUT: 88.48	FROM D7, 18" RCP INV IN: 88.48 @ 1.30%	TO D1, 18" RCP INV OUT: 88.48 @ 1.30%
D7	PROPOSED FDOT INDEX NO. 232 - TYPE C RIM: 92.78 INV OUT: 89.36		TO D6, 18" RCP INV OUT: 89.36 @ 1.30%
D8	PROPOSED FDOT MANHOLE RIM: 93.11 INV IN: 86.90 INV IN: 88.40 INV OUT: 86.90	FROM EX-3, 36" RCP INV IN: 86.90 @ 0.25% FROM D8, 18" RCP INV IN: 88.40 @ 1.90%	TO D1, 36" RCP INV OUT: 86.90 @ 0.25%
D9	PROPOSED FDOT INDEX NO. 233 - TYPE F RIM: 92.67 INV OUT: 89.16		TO D8, 18" RCP INV OUT: 89.16 @ 1.90%
EX-1	EXISTING GRATE INLET RIM: 95.53 INV IN: 85.30	FROM EX-2, 36" RCP INV IN: 85.30 @ 0.88%	
EX-2	EXISTING GRATE INLET, GRATE TO BE REMOVED AND INLET TO BE CAPPED. RIM: 92.90 INV IN: 86.63 INV OUT: 86.53	FROM D1, 36" RCP INV IN: 86.63 @ 0.25%	TO EX-1, 36" RCP INV OUT: 86.53 @ 0.88%
EX-3	EXISTING GRATE INLET TO REMAIN, GRATE TOP TO BE ADJUSTED TO FINAL GRADE ELEVATIONS RIM: 92.86 INV IN: 87.00 INV OUT: 86.95	FROM EX-4, 36" RCP INV IN: 87.00 @ 0.24%	TO D8, 36" RCP INV OUT: 86.95 @ 0.25%
EX-4	EXISTING STORM MANHOLE RIM: 94.09 INV OUT: 87.11		TO EX-3, 36" RCP INV OUT: 87.11 @ 0.24%



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CONTENTS:
STORMWATER PROFILES

3/29/2018

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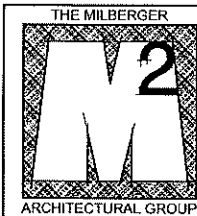
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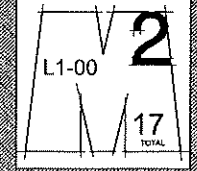
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 845 SOUTH ORANGE BLOSSOM TRAIL
 APOPKA, FL 32703

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CONTENTS:
 LANDSCAPE PLAN

3/29/2018

118220041
 JOB NUMBER



Buffer Yard Requirement

Location	Adjacent Use	Width	Buffer Required
Buffer A	Southwest Boundary	C-1 Arterial Roadway/Thick Stone	Z.O. 2.02.13 G1
Buffer B	Southeast Boundary	C-2 CFC Credit Union	5' min. Z.O. 2.02.13 G3
Buffer C	Northwest Boundary	C-2 AutoZone	5' min. Z.O. 2.02.13 G3
Buffer D	Northeast Boundary	C-2 Shopping Center	5' min. Z.O. 2.02.13 G3

Buffer A

Length = 240 LF
 Width = 10 LF
 Buffer Area = 2,400 SF
 Min. Tree DBH required = 8.4 in
 (3.5" DBH per 1,000 SF of Buffer Area)

Length of Parking = 118 LF

DBH Provided = 21 in

Plant Material Type	Quantity Required	Quantity Provided	Zoning Ordinance
Canopy Tree	(1 per 35 LF of Buffer) = 7	7	5.01.08 A(3)
Understory Tree	(1 per 15 LF of Buffer) = 16	16	2.02.01 Sb (4c)
Shrubs	(10 per 35 LF of Buffer) = 69	20	5.01.08 A(3)
Hedge/row	(1 per 3.5 LF of Length of Parking) = 34	-	5.01.08 G(5)
Ex. Hedge/row to Remain		48	

Buffer B

Length = 150 LF
 Width = 5 LF
 Buffer Area = 750 SF
 Min. Tree DBH required = 2.6 in
 (3.5" DBH per 1,000 SF of Buffer Area)

DBH Provided = 12 in

Plant Material Type	Quantity Required	Quantity Provided	Zoning Ordinance
Canopy Tree	(1 per 35 LF of Buffer) = 5	4	5.01.08 A(2)
Ex. Tree to Remain		1	

Buffer C

Length = 140 LF
 Width = 5 LF
 Buffer Area = 700 SF
 Min. Tree DBH required = 2.5 in
 (3.5" DBH per 1,000 SF of Buffer Area)

DBH Provided = 9 in

Plant Material Type	Quantity Required	Quantity Provided	Zoning Ordinance
Canopy Tree	(1 per 35 LF of Buffer) = 4	3	5.01.08 A(3)
Ex. Tree to Remain		1	
Shrubs	(10 per 35 LF of Buffer) = 40	18	5.01.08 A(3)
Ex. Hedge/row to Remain		22	

Buffer D

Length = 160 LF
 Width = 5 LF
 Buffer Area = 800 SF
 Min. Tree DBH required = 3.2 in
 (3.5" DBH per 1,000 SF of Buffer Area)

DBH Provided = 18 in

Plant Material Type	Quantity Required	Quantity Provided	Zoning Ordinance
Canopy Tree	(1 per 35 LF of Buffer) = 6	6	5.01.08 A(3)
Shrubs	(10 per 35 LF of Buffer) = 52	52	5.01.08 A(3)

Tree Replacement (ZO 5.01.06, 5.01.07)

Area	Acres	SF
Total Site Area	1.07	46,609
Preservation Area		9,721
Paved Areas		22,219

Replacement Requirement: 1 inch DBH for 1 inch Removed

Trees Preserved

Type	Quantity	Size (DBH)	Total DBH
OAK	2	18 in	36 in
OAK	2	24 in	48 in
OAK	1	36 in	36 in

Trees to be Removed

Type	Quantity	Size (DBH)	Total DBH
PALM	1	12 in	12 in
OAK	1	18 in	18 in
OAK	2	24 in	48 in

Trees Planted

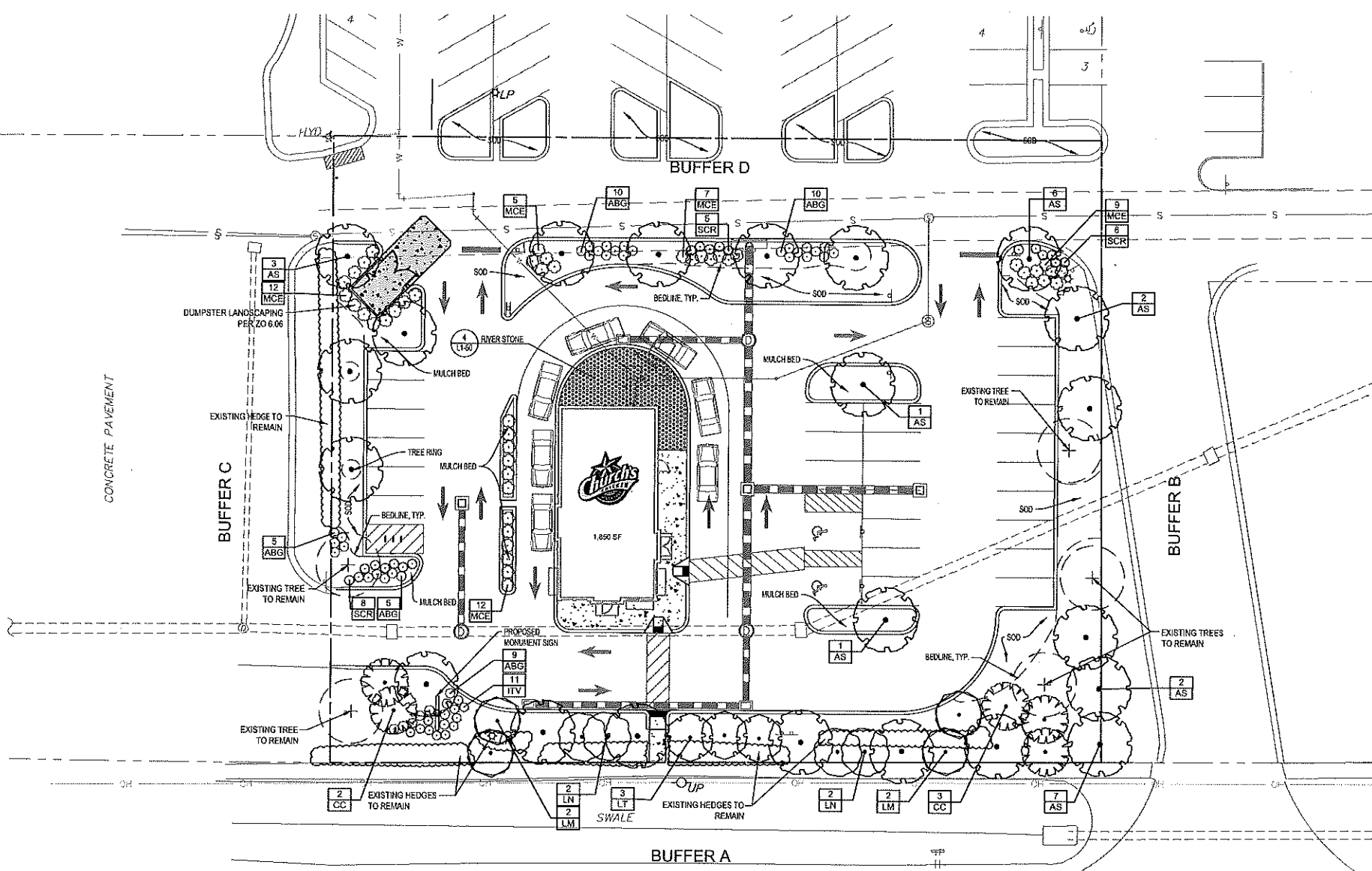
Type	Quantity	Size (DBH)	Total DBH
RED MAPLE	22	3 in	66 in
MUSKOGEE CRAPE MYRTLE	4	3 in	12 in
NATCHEZ CRAPE MYRTLE	4	3 in	12 in
TUSKEGEE CRAPE MYRTLE	3	3 in	9 in

Requirement is Met:
 Trees to be Removed 78 DBH < Trees Planted 99 DBH

Interior Parking Landscaping (ZO 5.01.08 C)

Area	SF
Number of Parking Spaces	28 Spaces
Parking Area	4,696 SF
Parking and Traffic Circulation Area	21,733 SF
Interior Landscaping Area Required (Min 10% of Parking and Traffic Area)	2,173 SF
Trees Required (1 per 20 parking spaces)	2
Required Parking Area to be Shaded (Min. 30% of Parking Area Covered)	1,409 SF

Area	SF
Interior Landscaping Area Provided	2,913 SF
Trees Provided	2
Parking Area Shaded by Tree Canopy at Maturity	3,926 SF
Percent Shaded Parking Area Provided	84%

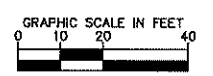


**SOUTH ORANGE BLOSSOM TRAIL
 (S.R. 500)
 (163' PUBLIC R.O.W.)**

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	REMARKS
AS	22	Acer rubrum 'Red Sunset'	Red Sunset Maple	B & B	3" Cal	Strong central leader
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	REMARKS
CC	5	Cercis canadensis	Eastern Redbud	B & B	8" HT. MIN	Single-trunk
LM	4	Lagerstroemia x 'Muskogee'	Muskogee Crape Myrtle	B & B	8" HT. MIN	Lavender; (3) 1" Canes Min.
LN	4	Lagerstroemia x 'Natchez'	Natchez Crape Myrtle	B & B	8" HT. MIN	White; (3) 1" Canes Min.
LT	3	Lagerstroemia x 'Tuskegee'	Tuskegee Crape Myrtle	B & B	8" HT. MIN	Red / Pink; (3) 1" Canes Min.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	REMARKS
ABG	39	Abelia x grandiflora	Glossy Abelia	Cont.	24" HT MIN.	Full to the ground
ITV	11	Ita virginica	Virginia Willow	Cont.	24" HT MIN.	Full to the ground
MCE	45	Myrica cerifera	Wax Myrtle	Cont.	36" HT. MIN.	Full to the ground
SCR	19	Spiraea cantoniensis	Reeves Spirea, Bridal Wreath	Cont.	24" HT MIN.	Full to the ground

- GENERAL NOTES:**
- This plan is in compliance with Water Wise Ordinance 2009.
 - All sod shall be Zoysia and shall not exceed 75% of the total irrigation area.
 - 100% of the irrigation is low volume, refer to sheet IR-00 for more information.
 - Contractor to field verify location of Buffer A landscape material to be consistent with City of Apopka Code of Ordinances.
 - Prior to commencement of work, Contractor is required to obtain a City of Apopka Arbor Clearing permit.



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GENERAL NOTES

- Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- Planting beds and individual tree plantings shall be mulched continuously as specified.
- Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appearances that occur as a result of landscape related work.
- Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage. Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement terms, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
- Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken.
- All material including planting operation appearances shall be of domestic origin manufacture and sourced within 100 miles of the project site.
- Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

- I. PLANTS**
- A. General**
- Live healthy plants free of dead branches and parts
 - Free of disease, insect, injury and damage
 - Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage.
 - Free of girdling roots or rootbound/circling container conditions
 - Plants of consistent in growth habit and healthy character
 - Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars
 - Point of origin growing location within 100 miles of project site
 - Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery Stock most current edition
 - Species identified consistent with *Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada*, most current edition and *Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses*, most current edition
 - All distributed areas shall be grass seed unless otherwise identified on landscape plans

- B. Trees:**
- Deciduous Single Trunk
 - Full, straight and upright with consistent symmetrical natural branching pattern throughout
 - Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction
 - Deciduous Multi-Trunk
 - Full and upright with straight consistent symmetrical natural branching pattern throughout
 - Canes evenly spaced and of similar growth habit
 - Free of suckers and extraneous branching
 - Evergreen Single-Trunk
 - Full and upright with continuous symmetrical dense natural habit
 - Clear branching height twelve (12) inches above top of rootball
 - Free of suckers and extraneous branching
 - Do not shear or otherwise prune to shape plantings

- C. Evergreen and Deciduous Shrubs**
- Full, dense and naturally symmetrical
 - Consistent with container and/or balled and burlapped size
 - Free of suckers and extraneous branching
 - Do not shear or otherwise prune or shape plantings

- D. Evergreen and Deciduous Groundcover**
- Full and dense in pots or flats

- E. Perennials and Seasonal Color**
- Full and dense in pots or flats

- F. Turf Grass**
- Subgrade
 - Soil Mix-10% Compost, 90% topsoil by volume
 - Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than 3/4 inch in any dimension
 - Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable
 - Grass Sod
 - Install not longer than twenty-four (24) hours from harvest
 - Grass bed not less than two (2) inches in continuous thickness
 - 100% continuous live sod coverage after first growing season and at end of warranty period.
 - Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
 - Stagger installation rows and place signed parallel to contours
 - Fill joints solidly with planting bed preparation soil
 - Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

- G. Grass Seed**
- Mix approved by the Landscape Architect
 - Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
 - Provide seed mix not greater than 15% annual or perennial rye
 - Coverage 85% continuous coverage live stand after first growing season and at end of warranty
 - Replacement or overseeding mixes consistent with original application/installation
 - Provide erosion blankets or other slope retention methods as noted on drawings

- II. Materials and Appearances**
- A. Testing**
- Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

- B. Top Soil**
- Neutral Ph balance 5.5 - 7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, trash, and deleterious matter greater than 3/4 inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%
- C. Use of Existing Topsoil**
- Existing topsoil on-site may be reused with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures.

- D. Shredded Hardwood Mulch**
- 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed. Neutral Ph balance 5.5-7.5

- E. Composted Pine Bark Fines**
- 100% organic ground pine bark with no particle dimension greater than 3/4-inch and no greater than 10% wood content

- F. Compost Ph**
- Balanced 5.0-9.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight. Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

- G. Compost Testing**
- Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety requirements
 - Provide copy of lab analysis less than 120 calendar days old verifying that the product meets desired physical requirements: chemical contaminants: Ph; physical contaminants: biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of the US Composting Council Seal of Testing approval programs

- H. Planting Mix**
- 85% topsoil and 15% Compost

- I. Fertilizer**
- Fertilizer content and application rate shall be in accordance with Sec. 15-804 of the Orange County fertilizer ordinance.
 - Per Sec. 15-803(a) of the Orange County fertilizer ordinance: no fertilizer containing nitrogen or phosphorus shall be applied to turf or landscape plants during a period for which the National Weather Service has issued any of the following advisories for any portion of Orange County: a severe thunderstorm warning or watch, flood warning or watch, tropical storm warning or watch, or hurricane warning or watch.
 - Per Sec. 15-803(b) of the Orange County fertilizer ordinance: No person, except applicators certified pursuant to section 15-809, shall apply fertilizer containing nitrogen or phosphorus to turf or landscape plants during restricted season from June 1 through September 30.

- J. Herbicide**
- Product and Material Safety Data as approved by Owner

- K. Water**
- Potable only unless otherwise approved by Owner

- L. Hardwood Stakes**
- 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

- M. Tree Ties**
- Villa Non-Abresive Rubber Tree Ties or approved equal

- N. Filter Fabric**
- Mirafi 140-N or approved equal

- O. Steel Edging**
- 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

- P. River Stone**
- Locally sourced, river rounded, unfaceted river stone/cobbles.
 - Size shall not exceed 3 total inches in any dimension.
 - Color and texture approved by Owner
 - When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.
 - Concrete or mortar as approved by owner.

- III. Execution**
- A. Site Conditions**
- Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions.
 - Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner of acceptance prior to commencement of work.
 - Notify Owner in writing of any conditions that may preclude successful completion of work including items such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.
 - Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities.
 - Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required work by others.

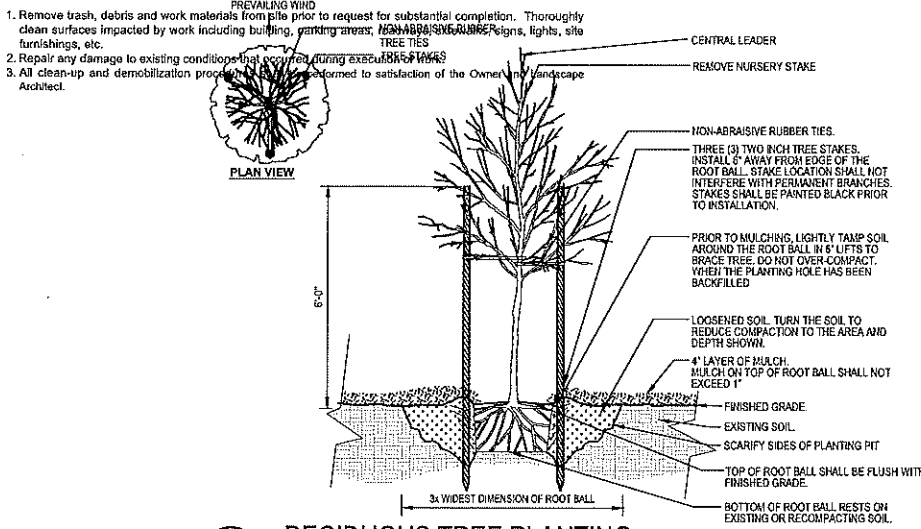
- B. Planting Seasons**
- Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner on an individual project basis.

- Deciduous and Evergreen Trees
 - Do not install plant the following trees between September 15 and March 15
 - Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinea)
 - Dogwood (Cornus Sp.)
 - Sweetgum (Liquidambar Sp.)
 - All Conifers and Evergreens except White Pine (Pinus strobus Sp.)
- Deciduous and Evergreen Shrubs
 - Install plant between March 15 and June 15 and/or September 15 and November 30
- Perennials
 - Install plant between March 15 and June 15 and/or September 15 and November 30
- Spring Flowering Bulbs
 - Install plant between September 15 and December 15
- Seasonal Annuals
 - Install plant in season per approved schedule
- Turf Grass
 - Install plant between March 15 and May 15 and/or September 15 and November 30
 - Do not install plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work
- No Plant Installation
 - Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

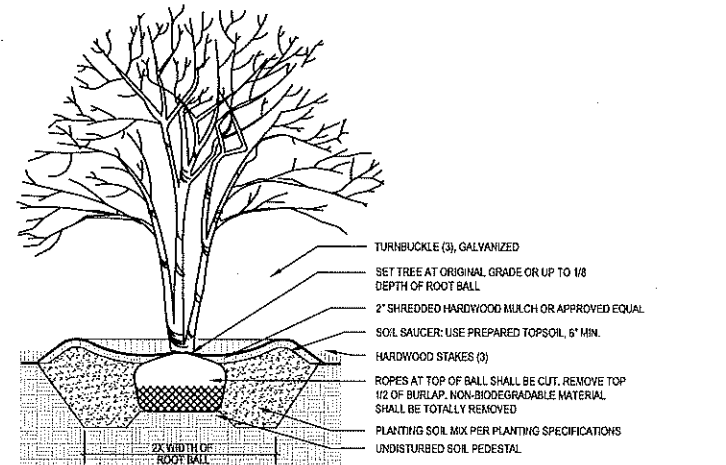
- C. Positioning & Location of Plantings**
- Position plants to show the most-prominent and well-formed face to most-public view
 - Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning installation
 - Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without Owner approval

- D. Implementation**
- Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner
 - Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials
 - Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work
 - Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil
 - Report delays due to extraordinary natural or other conditions beyond control of Contractor

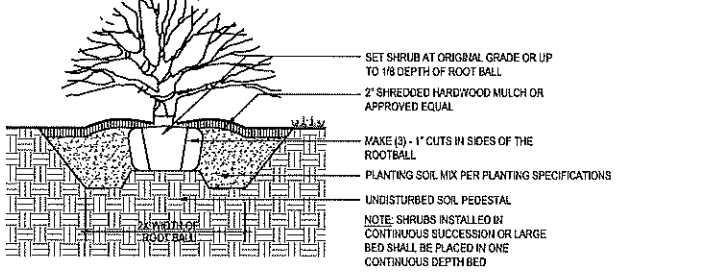
- E. Clean Up**



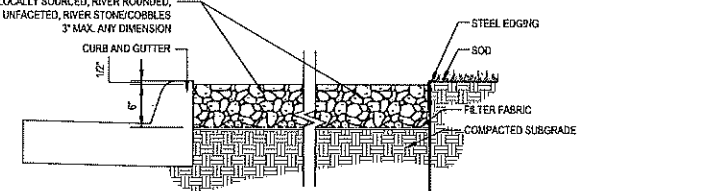
1 DECIDUOUS TREE PLANTING
NOT TO SCALE



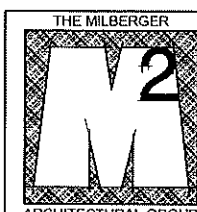
2 ORNAMENTAL TREE PLANTING
NOT TO SCALE



3 SHRUB PLANTING
NOT TO SCALE



4 RIVER STONE
1\"/>



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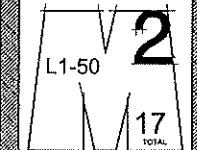
T0006
845 SOUTH ORANGE
BLOSSOM TRAIL
APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
PTC	TJM

CONTENTS:
LANDSCAPE
DETAILS

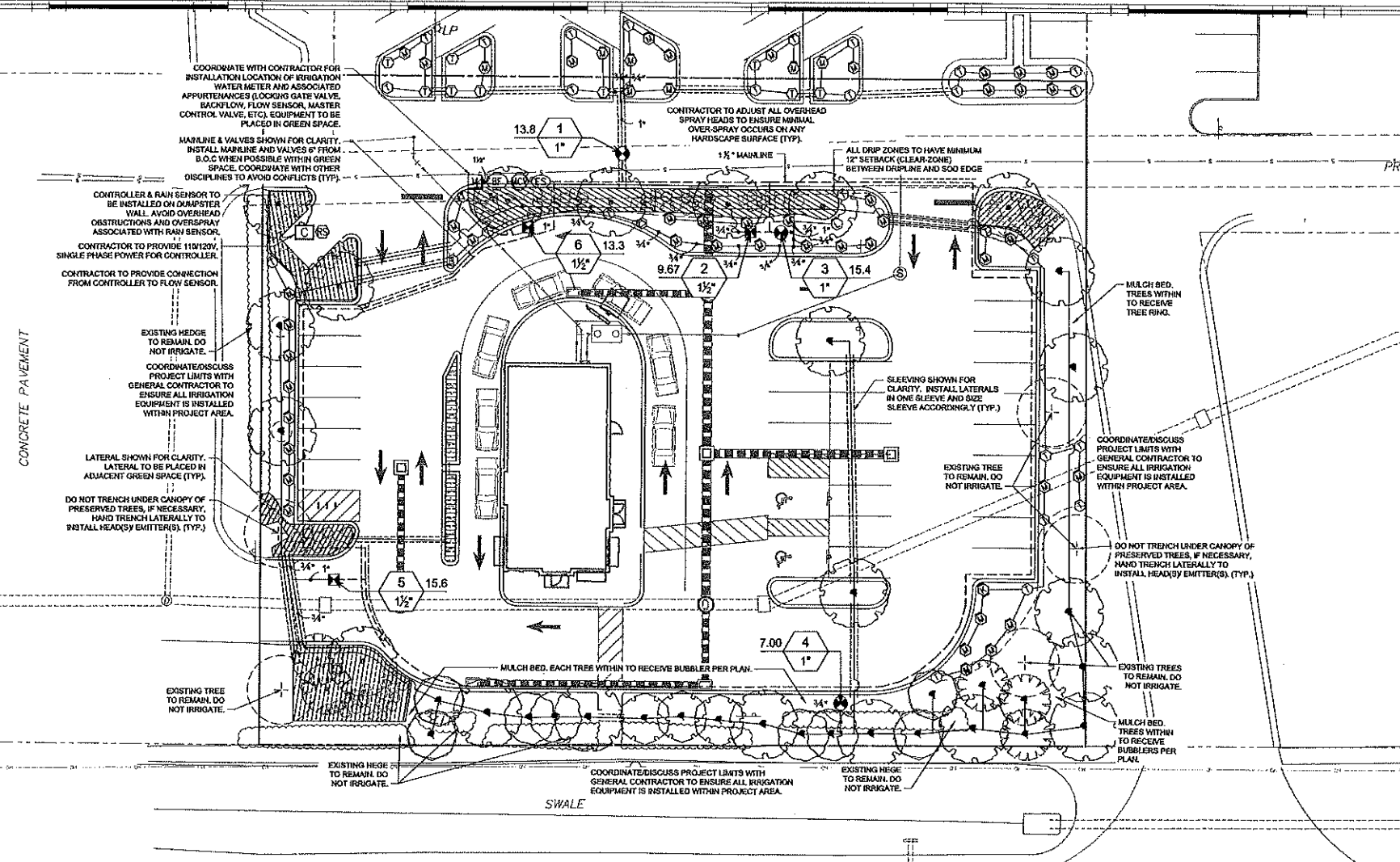
3/29/2018

118220041
JOB NUMBER



Kimley Horn

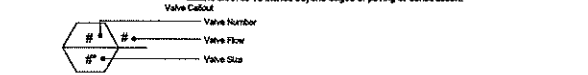
214 Oceanside Drive, Nashville, TN 37204
Main: 615.564.2701 | www.kimley-horn.com
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SOUTH ORANGE BLOSSOM TRAIL
(S.R. 500)
(163' PUBLIC R.O.W.)

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	Hunter MP1000 PROS-04-PRS40-CV Turf Rotator, 4" (10.16 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, 11-Harcon adj arc 90 to 210, 1.4" light blue 210 to 270 arc, 0.6" dia 360 arc.	52
⊙	Hunter MP2000 PROS-04-PRS40-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, X-Black adj arc 90-210, G-Green adj arc 210-270, R-Red 360 arc.	1
⊙	Hunter MP Corner PROS-04-PRS40-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, 11-Harcon adj arc 45-165 on PRS40 body.	37
⊙	Hunter MP Slip PROS-04-PRS40-CV Turf Rotator, 4" (10.16 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, LST-heavy left slip, SST-heavy right slip, RST-Copper right slip.	1
⊙	Torr 8706-F38-PC Pressure-Compensating Flood Bubbler on Fixed Riser, 0.25GPM, 0.5GPM, 1.0GPM, and 2.0GPM.	28
⊙	Rain Bird XCC-150-PRB-COM High Flow Control Zone Kit, for Large Commercial Drip Zones, 1-1/2" PESB Valve with two 1" Pressure Regulating (40psi) Quick-Check Basket Filters, Flow range: 15-40gpm.	3
⊙	Area to Receive Dripline Hedelin TLOCV-09-12 Technique Pressure Compensating Landscape Dripline with Check Valve, 0.9 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern, 17mm.	2,618 LL
⊙	Rain Bird PEB 1" 1" Plastic Industrial Valves, Low Flow Operating Capability, Globe Configuration.	3
⊙	Rain Bird PEB 1" 1" Plastic Industrial Valves, Low Flow Operating Capability, Globe Configuration.	1
⊙	Febco 825Y 1" Reduced Pressure Backflow Preventer	1
⊙	Hunter FCC-1200 Light Commercial & Residential Controller, 12-Station fixed controller, 120 VAC, Outdoor model.	1
⊙	Hunter WRP-CLK Rain/Wind Sensor, install within 1000 ft of controller, in line of sight, 22-28 VAC/VDC 100 mA power from line transformer, Mount as noted, includes Gutter Mount.	1
⊙	Hunter FPS-100 Flow Sensor for use with AGC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.	1
⊙	Water Meter 1"	1
⊙	Irrigation Lateral Line: PVC Class 200 SDR 21	2,217 LL
⊙	Irrigation Mainline: PVC Class 200 SDR 21	743.8 LL
⊙	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve shall allow for irrigation piping and their related couplings to easily slide through sleeve material. Extend sleeves 18 inches beyond edges of paving or construction.	472.3 LL



THIS IRRIGATION PLAN IS DESIGNED TO THE FOLLOWING STATS: 65 PSI AND 75 GPM, WITH 40 PSI AVAILABLE AT EACH HEAD. IF WATER PRESSURE DOES NOT MEET DESIGN SPECIFICATIONS A BOOSTER PUMP WILL BE REQUIRED AT COST OF CONTRACTOR. CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF SYSTEM HAS +/- 5 PSI THAN DESIGN PRESSURE.

ABOVE QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING.

REFERENCE MAXIMUM LATERAL DRIPLINE CHART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DRIP LINE ZONE.

WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWS FOR EVEN FLOW OF WATER THROUGH THE ZONE.

IRRIGATION ZONE CHART

ZONE #	VALVE SIZE	IRRIGATION EQUIPMENT	LANDSCAPE MATERIAL	LOW VOLUME
1	1"	MP ROTATORS	SOD	YES
2	1 1/2"	DRIP	SHRUBS	YES
3	1"	MP ROTATORS	SOD	YES
4	1"	BUBBLERS	TREES	YES
5	1 1/2"	DRIP	SHRUBS	YES
6	1 1/2"	DRIP	SHRUBS	YES

CITY OF APOPKA IRRIGATION NOTES

- 40 PSI IS REQUIRED AT EACH HEAD PER CITY ORDINANCE.
- NO RISERS ALLOWED.
- ZONES MUST HAVE MATCHING PRECIPITATION RATES.
- ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED AT LEAST 24" FROM VERTICAL STRUCTURES.
- ALL VELOCITIES IN THE WATER CONVEYANCE SYSTEM SHALL NOT EXCEED 5' PER SECOND.
- CONTRACTOR TO ENSURE PROPER IRRIGATION DAYS & TIMES ARE FOLLOWED.
- CONTRACTOR TO PROVIDE ZONE CHART WITH INSTALLATION DATE & COMPANY WITHIN CONTROLLER.
- MAINTENANCE SCHEDULE TO BE PROVIDED BY OWNER.

IRRIGATION NOTES

- IRRIGATION CONTRACTOR SHALL TEST EXISTING STATIC PRESSURE ON SITE PRIOR TO CONSTRUCTION. SHOULD EXISTING SITE PRESSURE BE BELOW 65 PSI, CONTRACTOR SHALL CONTACT THE IRRIGATION DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- THE IRRIGATION CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED. ALL LOCAL CODES SHALL PREVAIL OVER ANY DISCREPANCIES HEREIN.
- LATERAL PIPE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES, MAINLINE PIPE AND WIRES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES.
- ELECTRICAL POWER SHALL BE PROVIDED WITHIN 5 FEET OF CONTROLLER LOCATION BY GENERAL CONTRACTOR. I.L.O. TO PROVIDE FINAL HARD WIRE TO CONTROLLER.
- 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF 18 GAUGE, U.L. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR "IRRIGATION WIRE". WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF WIRE CONNECTOR U.L. APPROVED AND FILLED WITH SILICONE.
- VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, WITH THREE INCHES OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE. USE 1/2" RIGID VALVE BOXES FOR ELECTRIC VALVES AND QUICK COUPLING VALVES UNLESS NOTED OTHERWISE. O.C.A. SHALL BE BOXED ACCORDING TO LOCAL CODES.
- USE PVC SWING JOINT ASSEMBLIES TO CONNECT ALL SPRAY HEADS.
- ALL ROTOR HEADS SHALL BE CONNECTED WITH A 12" MINIMUM LENGTH OF 1/2" FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD ON 79S SOLVENT AND 79-70 PRIMER. PRIMER SHALL BE PURPLE IN COLOR.
- CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
- SLEEVES SHALL BE INSTALLED BY GENERAL CONTRACTOR. SLEEVE MATERIAL SHALL BE PVC, SCHD. 40. CONTRACTOR SHALL EXTEND SLEEVES ONE FOOT BEYOND EDGE OF ALL PAVEMENT.
- LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO SUPPLY OWNER AND OWNERS CONTRACTOR WITH ALL EQUIPMENT SPECIFICATIONS AND MAINTENANCE GUIDELINES.
- DRIP LINE SHALL BE PLACED A MINIMUM OF 2" UNDER MULCH.
- LICENSED IRRIGATION CONTRACTOR SHALL ADJUST SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE AND ADJUST FOR MINIMUM OVERSPRAY ONTO PAVEMENT. NO OVERSPRAY IS PERMITTED ONTO STREETS OR SIDEWALKS.
- IRRIGATION CONTRACTOR SHALL SUPPLY AND CONSTRUCT IRRIGATION SYSTEM WITH ALL MATERIALS AND PER MANUFACTURER SPECIFICATIONS SHOWN ON THIS PLAN. IF CONTRACTOR PREFERENCES MATERIALS THAT DIFFER FROM THE THIS PLAN, THEY SHALL BE APPROVED BY THE IRRIGATION DESIGNER PRIOR TO CONSTRUCTION.

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CONTENTS:
IRRIGATION PLAN

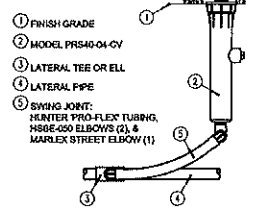
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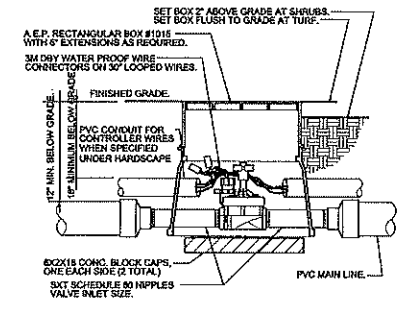
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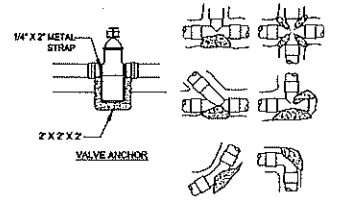
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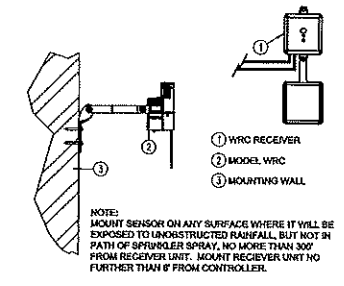
MP ROTATOR SPRINKLER
DETAIL - N.T.S.



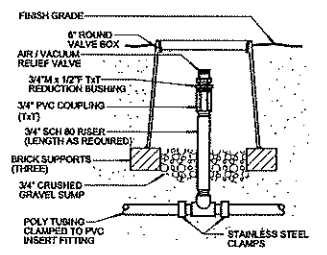
MASTER CONTROL VALVE
DETAIL - N.T.S.



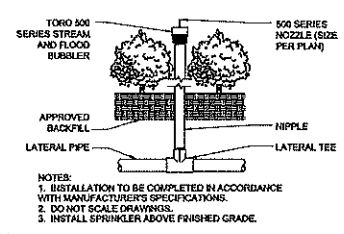
THRUST BLOCK
DETAIL - N.T.S.



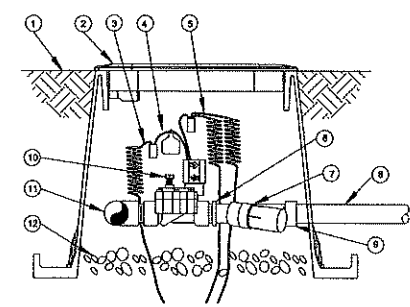
WIRELESS RAIN SENSOR
DETAIL - N.T.S.



AIR/VACUUM RELIEF
DETAIL - N.T.S.

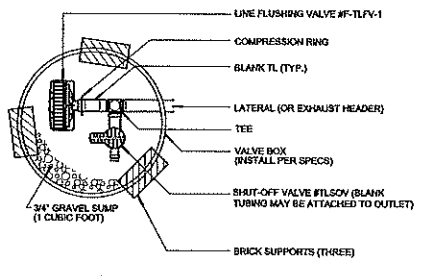


TORO BUBBLER
DETAIL - N.T.S.

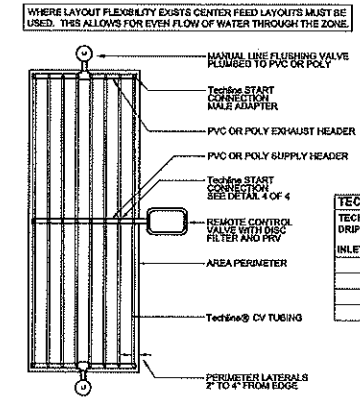


XCZ DRIP ZONE KIT
N.T.S.

- 1 FINISH GRADE
- 2 STANDARD VALVE BOX WITH COVER: RAIN BIRD VS-STD
- 3 WATERPROOF CONNECTION: RAIN BIRD DS SERIES
- 4 VALVE ID TAG
- 5 30-INCH LINEAR LENGTH OF WIRE, COILED
- 6 1" X 3/4" REPAIRING COUPLER (INCLUDED IN XCZ-LF-100-PRF KIT)
- 7 PRESSURE REGULATING FILTER: RAIN BIRD PRF-100-RBY (INCLUDED IN XCZ-LF-100-PRF KIT)
- 8 LATERAL PIPE
- 9 PVC SCH 40 FEMALE ADAPTOR OR REDUCER
- 10 REMOTE CONTROL VALVE: RAIN BIRD LFV-100 (INCLUDED IN XCZ-LF-100-PRF KIT)
- 11 PVC SCH 40 TEE OR ELL TO MANIFOLD
- 12 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



LINE FLUSHING VALVE
N.T.S.

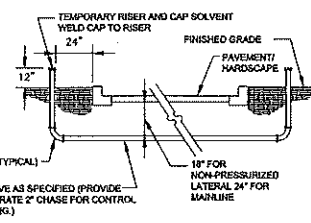


Techline® CV CENTER FEED LAYOUT
DETAIL - N.T.S.

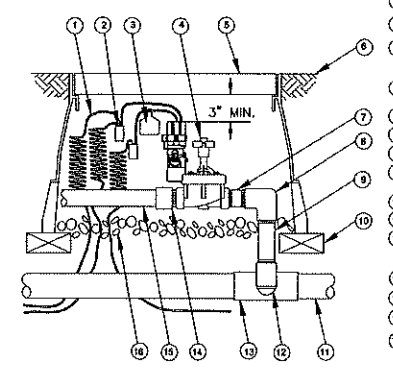
TECHLINE CV MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)	12"			16"			24"		
	DRIPPER SPACING	DRIPPER FLOW RATE (GPH)	DRIPPER FLOW RATE (GPH)	DRIPPER SPACING	DRIPPER FLOW RATE (GPH)	DRIPPER FLOW RATE (GPH)	DRIPPER SPACING	DRIPPER FLOW RATE (GPH)	DRIPPER FLOW RATE (GPH)
15	109	86	65	151	120	91	192	116	88
20	325	256	194	459	361	274	458	348	266
30	405	322	244	679	450	348	680	440	330
45	469	369	280	684	523	397	606	506	366

PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3, 4"	6"

SLEEVE SIZE SCHEDULE

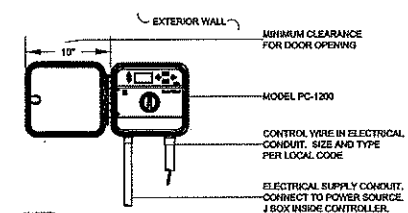


SLEEVE INSTALLATION
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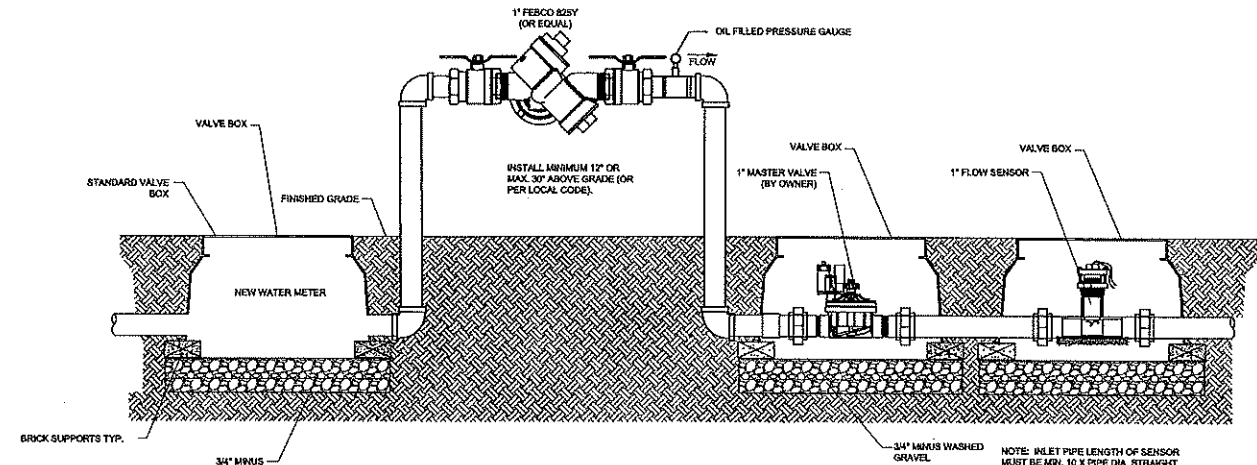


ELECTRIC REMOTE CONTROL VALVE
N.T.S.

- 1 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2 WATERPROOF CONNECTION: RAIN BIRD SPLICE-1 (1 OF 2)
- 3 ID TAG: RAIN BIRD VSD SERIES
- 4 REMOTE CONTROL VALVE: RAIN BIRD PERS-PRS-D WITH NF-HAN
- 5 VALVE BOX WITH COVER: RAIN BIRD VS-STD
- 6 FINISH GRADE/TOP OF MULCH
- 7 PVC SCH 80 NIPPLE (CLOSE)
- 8 PVC SCH 40 ELL
- 9 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 10 BRICK (1 OF 4)
- 11 PVC MAINLINE PIPE
- 12 SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- 13 PVC SCH 40 TEE OR ELL
- 14 PVC SCH 40 MALE ADAPTER
- 15 PVC LATERAL PIPE
- 16 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



PRO-C CONTROLLER
DETAIL - N.T.S.



RPZ ASSEMBLY BACKFLOW PREVENTER
N.T.S.



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APOPKA, FL 32703

DRAWN BY:	CHECKED BY:
AM	LMC

CONTENTS:

IRRIGATION DETAILS

3/28/18
Leah M. Campbell
LEAH M. CAMPBELL, P.E.
FL LICENSE NO. 587169
118220041
03/28/2018

IR2-00	2
	17
TOTAL	

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GENERAL IRRIGATION SPECIFICATIONS AND NOTES

A. EXTENT:

INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: (1) TRENCHING AND BACKFILL, (2) AUTOMATICALLY CONTROLLED LOW VOLUME IRRIGATION SYSTEM, (3) TEST ALL SYSTEMS AND MAKE OPERATIVE, (4) "AS-BUILT" DRAWINGS.

B. GENERAL:

1. PERMITS AND FEES: OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. INSPECTIONS REQUIRED BY LOCAL ORDINANCES DURING THE COURSE OF CONSTRUCTION SHALL BE ARRANGED AS REQUIRED. ON COMPLETION OF THE WORK, SATISFACTORY EVIDENCE SHALL BE FURNISHED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE TO SHOW THAT ALL WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE - PLUMBING / APPENDIX F AND CODE REQUIREMENTS.

2. APPROVAL: WHEREVER THE TERMS "APPROVE" OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY SHALL MEAN THE APPROVAL OF THE OWNER'S CONSTRUCTION REPRESENTATIVE IN WRITING.

3. BEFORE ANY WORK IS STARTED, A CONFERENCE SHALL BE HELD BETWEEN THE CONTRACTOR AND THE OWNER'S CONSTRUCTION REPRESENTATIVE CONCERNING THE WORK UNDER THIS CONTRACT.

4. COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.

5. INSPECTION OF SITE:

A. CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS. SUBMISSION OF HIS PROPOSAL SHALL BE CONSIDERED EVIDENCE THAT THE EXAMINATION HAS BEEN CONDUCTED. SHOULD UTILITIES NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE FOR FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE THEREAFTER ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN IN PLANS.

B. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS IN THE LAYOUT AS MAY BE REQUIRED TO CONNECT TO EXISTING STRUCTURES, SHOULD SUCH STRUCTURES NOT BE LOCATED EXACTLY AS SHOWN, AND AS MAY BE REQUIRED TO WORK AROUND EXISTING WORK AT NO INCREASE IN COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.

6. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGE BE INCURRED, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

7. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE, ADD, OR DELETE ANY MATERIAL OR WORK AS THE WORK PROGRESSES. ADJUSTMENTS TO THE CONTRACT PRICE SHALL BE NEGOTIATED IF DEEMED NECESSARY BY THE OWNER ON A PER DEM BASIS.

8. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT THE EARLIEST TIME POSSIBLE.

9. WORK SCHEDULE: WITHIN 10 DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A WORK SCHEDULE.

10. "AS-BUILT" IRRIGATION DRAWINGS: PREPARE AN "AS-BUILT" DRAWING ON A BLUEPRINT WHICH SHALL SHOW DEVIATIONS FROM THE BID DOCUMENTS MADE DURING CONSTRUCTION AFFECTING THE MAIN LINE PIPE, CONTROLLER LOCATIONS, REMOTE CONTROL VALVES AND QUICK COUPLING VALVES. THE DRAWINGS SHALL ALSO INDICATE AND SHOW APPROVED SUBSTITUTIONS OF SIZE, MATERIAL AND MANUFACTURER'S NAME AND CATALOG NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE DELIVERED TO THE TENANT'S CONSTRUCTION REPRESENTATIVE BEFORE FINAL ACCEPTANCE OF WORK.

11. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER'S CONSTRUCTION REPRESENTATIVE UPON THE SATISFACTORY COMPLETION OF ALL WORK.

12. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE TENANT'S CONSTRUCTION REPRESENTATIVE. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.

13. A LAMINATED PLAN (8 1/2 X 11) SHOWING THE DIFFERENT IRRIGATION ZONES IN COLOR, PREPARED BY THE IRRIGATION CONTRACTOR, SHALL BE POSTED IN THE MECHANICAL ROOM.

C. MATERIALS:

1. GENERAL: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION.

2. PLASTIC PIPING: ALL MAIN LINES AND LATERAL LINES SHALL BE CLASS 200 POLYETHYLENE TEREPHTHALATE (PET) PIPE AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM D 1785, ASTM D-2241, AWWA C-900, OR AWWA C-905. SDR-PR PIPE SHALL HAVE A MINIMUM WALL THICKNESS AS REQUIRED BY SDR-26. PVC GASKETS/FITTINGS SHALL CONFORM TO ASTM D 5158. GASKETS SHALL CONFORM TO ASTM F 477. SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. THREADED PVC PIPE FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2464. CONFORMING TO ASTM D-1784 AND D-2241.

3. PLASTIC FITTINGS: ALL SOLVENT-WELD PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. SCHEDULE 40 SOLVENT-WELD, POLYETHYLENE TEREPHTHALATE (PET) STANDARD WEIGHT AS MANUFACTURED BY SLOAN, LASCO, OR APPROVED EQUAL.

4. SOLVENT CEMENT: PVC CEMENT SHALL MEET ASTM D 2564 AND PVC CLEANER-TYPE SHALL MEET ASTM F 656.

5. SPRINKLER HEAD RISERS: SCHEDULE 40 PVC FOR RISERS. PIPE SHALL BE CUT WITH A STANDARD PIPE CUTTING TOOL WITH SHARP CUTTERS. REAM ONLY TO FULL DIAMETER OF PIPE AND CLEAN ALL HOUGH EDGES OR BURRS. CUT ALL THREADS ACCURATELY WITH SHARP DIES. NOT MORE THAN THREE(3) FULL THREADS SHALL SHOW BEYOND FITTINGS WHEN PIPE IS MADE UP. ASSEMBLIES SHALL BE AS DETAILLED.

6. AUTOMATIC CONTROLLER: SEE LEGEND

7. REMOTE CONTROL VALVES: SEE LEGEND

8. CONTROL WIRING: 24 VOLT SOLID UL APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM WIRE SIZE: 14 GAUGE. ALL SPICES SHALL BE MADE WITHIN VALVE BOX.

9. SLEEVES FOR CONTROL WIRING: UNDER ALL WALKS AND PAVED AREAS AND WHERE INDICATED ON DRAWINGS. MINIMUM PVC 1220-200 PSI PLASTIC PIPE.

10. SPRINKLER HEADS/ DRIP LINE: SEE LEGEND

11. QUICK COUPLING VALVES: SHALL BE NOTED ON DRAWINGS.

CITY OF APOPKA IRRIGATION NOTES

- 40 PSI IS REQUIRED AT EACH HEAD PER CITY ORDINANCE.
- NO RISERS ALLOWED.
- ZONES MUST HAVE MATCHING PRECIPITATION RATES.
- ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED AT LEAST 24" FROM VERTICAL STRUCTURES.
- ALL VELOCITIES IN THE WATER CONVEYANCE SYSTEM SHALL NOT EXCEED 5' PER SECOND.
- CONTRACTOR TO ENSURE PROPER IRRIGATION DAYS & TIMES ARE FOLLOWED.
- CONTRACTOR TO PROVIDE ZONE CHART WITH INSTALLATION DATE & COMPANY WITHIN CONTROLLER.
- MAINTENANCE SCHEDULE TO BE PROVIDED BY OWNER.

D. WORKMANSHIP:

1. LAY OUT WORK AS ACCURATELY AS POSSIBLE TO THE DRAWINGS. THE DRAWINGS, THOUGH CAREFULLY DRAWN, ARE GENERALLY DIAGRAMMATIC TO THE EXTENT THAT SWING JOINTS, OFFSETS, AND ALL FITTINGS ARE NOT SHOWN.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATED AREAS AND SHALL MAKE ANY NECESSARY MINOR ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.

3. ANY MAJOR REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM, ALONG WITH ANY CHANGE IN CONTRACT PRICE.

E. INSTALLATION:

1. EXCAVATION AND TRENCHING:

A. PERFORM ALL EXCAVATIONS AS REQUIRED FOR THE INSTALLATION OF THE WORK, INCLUDING UNDER THIS SECTION, INCLUDING SHORING OF EARTH BANKS TO PREVENT CAVE-INS, RESTORE ALL SURFACES, EXISTING UNDERGROUND INSTALLATIONS, ETC., DAMAGED OR CUT AS A RESULT OF THE EXCAVATIONS TO AND IN A MANNER APPROVED BY THE OWNER.

B. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 6 INCHES BETWEEN PARALLEL PIPE LINES. TRENCHES FOR PIPE LINES SHALL BE MADE OF SUFFICIENT DEPTHS TO PROVIDE THE MINIMUM COVER FROM FINISH GRADE AS FOLLOWS:

- 18" MINIMUM COVER OVER IRRIGATION LINES FOR VEHICLE TRAFFIC AREAS.
- MINIMUM COVER OVER IRRIGATION LINES TO HEADS/ DRIPLINE EXCEPT VEHICLE TRAFFIC AREAS ARE AS FOLLOWS:

3/4" - 1" = 6" COVER
 2" - 3" = 12" COVER
 4" - 6" = 18" COVER
 GREATER THAN 6" = 24" COVER

C. MAINTAIN ALL WARNING SIGNS, SHORING, BARRICADES, FLARES AND RED LANTERNS AS REQUIRED BY THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY AND LOCAL ORDINANCES.

2. PIPE LINE ASSEMBLY:

A. INSTALL REMOTE CONTROL VALVES WHERE SHOWN AND GROUP TOGETHER WHERE PRACTICAL. PLACE NO CLOSER THAN 12 INCHES TO WALK EDGES, BUILDINGS AND WALLS.

B. PLASTIC PIPE AND FITTINGS SHALL BE SOLVENT WELDED USING SOLVENTS AND METHODS RECOMMENDED BY MANUFACTURER OF THE PIPE, EXCEPT WHERE SCREWED CONNECTIONS ARE REQUIRED. PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT WITH A NON-SYNTHETIC BRISTLE BRUSH.

C. PIPE MAY BE ASSEMBLED AND WELDED ON THE SURFACE. SHAKE PIPE FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.

D. MAKE ALL CONNECTIONS BETWEEN PLASTIC PIPE AND METAL VALVES OR STEEL PIPE WITH THREADED FITTINGS USING PLASTIC WALE ADAPTERS.

3. SPRINKLER HEADS/ DRIPLINE:

A. INSTALL ALL SPRINKLERS/ DRIPLINE AS DETAILED ON DRAWINGS.

B. DO NOT SCALE PLANS FOR EXACT HEAD LOCATION.

C. PROVIDE A MINIMUM OF 4" BETWEEN SPRINKLERS/ DRIPLINE AND PAVEMENT AND 24 INCHES BETWEEN SPRINKLERS/ DRIPLINE AND BUILDINGS.

4. CLOSING OF PIPE AND FLUSHING LINES:

A. CAP OR PLUG ALL OPENINGS AS SOON AS LINES HAVE BEEN INSTALLED TO PREVENT THE ENTRANCE OF MATERIALS THAT WOULD OBSTRUCT THE PIPE. LEAVE IN PLACE UNTIL REMOVAL IS NECESSARY FOR COMPLETION OF INSTALLATION.

B. THOROUGHLY FLUSH OUT ALL WATER LINES BEFORE INSTALLING HEADS, DRIPLINE, VALVES AND OTHER HYDRANTS.

C. TEST IN ACCORDANCE WITH PARAGRAPH ON HYDROSTATIC TESTS.

D. UPON COMPLETION OF THE TESTING, THE CONTRACTOR SHALL COMPLETE ASSEMBLY AND ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.

5. INSPECTIONS:

A. SPRINKLER/ DRIPLINE LAYOUT AND SPACING INSPECTION: VERIFICATION THAT THE IRRIGATION DESIGN IS ACCURATELY INSTALLED IN THE FIELD. IT WILL ALSO PROVIDE FOR ALTERATION OR MODIFICATION OF THE SYSTEM TO MEET FIELD CONDITIONS. SPACING SHOULD BE WITHIN 5% OF THE DESIGN SPACING.

B. PIPE INSTALLATION DEPTH INSPECTION: ALL PIPES IN THE SYSTEM SHALL BE INSTALLED TO DEPTHS AS PREVIOUSLY DESCRIBED IN SECTION "E" OF THESE SPECIFICATIONS.

C. OPEN TRENCH INSPECTION: THE TRENCH AND ALL JOINTS AND EVERY TRANSITION IN PIPE SIZE, WILL BE OPEN WHERE OPEN TRENCH INSPECTION IS REQUIRED.

D. INSPECTIONS WILL BE PERFORMED THROUGHOUT THE DURATION OF THE INSTALLATION. INSPECTION MAY BE MADE BY THE GOVERNING AGENCY/ OWNER TO ENSURE COMPLIANCE WITH DESIGN INTENT, SPECIFICATIONS, AND THE IRRIGATION CODES.

6. HYDROSTATIC TESTS:

A. REQUEST THE PRESENCE OF THE OWNER IN WRITING AT LEAST 48 HOURS IN ADVANCE OF TESTING.

B. TESTING TO BE ACCOMPLISHED AT THE EXPENSE OF THE CONTRACTOR AND IN THE PRESENCE OF THE OWNER.

C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE.

D. APPLYING A CONTINUOUS AND STATIC WATER PRESSURE OF 125 PSI WHEN WELDED PLASTIC JOINTS HAVE CURED AT LEAST 3 HOURS AND WITH THE RISERS CAPPED AS FOLLOWS:

- 1) MAIN LINES AND SUBMANS TO BE TESTED FOR 2 HOURS.
- 2) NO PRESSURE LOSS IS ALLOWED FOR SOLVENT WELD MAINLINE/ PIPE.

E. FOR PVC AND D-RING GASKET PIPE THE ALLOWABLE LEAKAGE SHALL NOT EXCEED THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:

$$L = NPD^3 1,650$$

IN WHICH:
 L=ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
 N=NUMBER OF JOINTS
 D=PIPE DIAMETER IN INCHES
 P=AVERAGE TEST PRESSURE IN PSI GAUGE

F. REPAIR LEAKS RESULTING FROM TESTS.

7. AUTOMATIC CONTROLLERS:

A. CONNECT REMOTE CONTROL VALVES TO CONTROLLER IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTING BEGINNINGS WITH STATIONS 1, 2, 3, ETC.

8. AUTOMATIC CONTROL WIRING:

A. INSTALL CONTROL WIRING, SPRINKLER MAINS AND LATERALS IN COMMON TRENCHES WHEREVER POSSIBLE.

B. INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISH GRADE AND LAY TO THE SIDE AND BELOW THE MAIN LINE. PROVIDE LOCKED SLEEVES AT VALVES AND SHAKE WIRES IN TRENCH TO ALLOW FOR CONTRACTION OF WIRES. THE WIRES IN BUNDLES AT INTERVALS.

C. CONTROL WIRE SPICES WILL BE ALLOWED ONLY RUNS OVER 1000 FT. CONNECTIONS SHALL BE IN VALVE BOX & SHOWN ON AS-BUILT PLAN FOR LOCATION.

D. ALL WIRING PASSING UNDER EXISTING OR FUTURE PAVING, CONSTRUCTION, ETC., SHALL BE ENCASED IN PLASTIC OR GALVANIZED STEEL CONDUIT EXTENDING AT LEAST 24" BEYOND EDGES OF PAVING OR CONSTRUCTION.

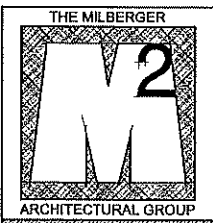
9. BACKFILL AND COMPACTING:

A. AFTER SYSTEM IS OPERATING AND REQUIRED TESTS AND INSPECTIONS HAVE BEEN MADE, BACKFILL EXCAVATIONS AND TRENCHES WITH CLEAN SOIL, FREE OF RUBBISH. INITIAL BACKFILL MATERIAL TO 6 INCHES ABOVE THE TOP OF PIPE SHALL BE FREE OF ROCKS OR STONES LARGER THAN ONE INCH IN DIAMETER. FINAL BACKFILL MATERIAL SHALL BE FREE OF ROCKS OR STONES LARGER THAN 3 INCHES IN DIAMETER.

B. BACKFILL FOR ALL TRENCHES, REGARDLESS OF THE TYPE OF PIPE COVERED, SHALL BE COMPACTED TO MINIMUM 90% DENSITY.

C. COMPACT TRENCHES IN AREAS TO BE PLANTED BY THOROUGHLY FLOODING THE BACKFILL. JETTING PROCESS MAY BE USED IN THOSE AREAS.

D. DRESS OFF ALL AREAS TO FINISH GRADES.



REVISIONS

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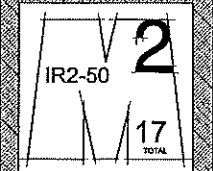
T0006
 845 SOUTH ORANGE BLOSSOM TRAIL
 APOPKA, FL 32703

DRAWN BY: ALH	CHECKED BY: LMC
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CONTENTS:
 IRRIGATION SPECIFICATIONS

3/28/18

 LEAH M. CAMPBELL, P.L.A.
 FL LICENSE NO. 6567166
 118220041
 2/8/2018



Kimley»Horn

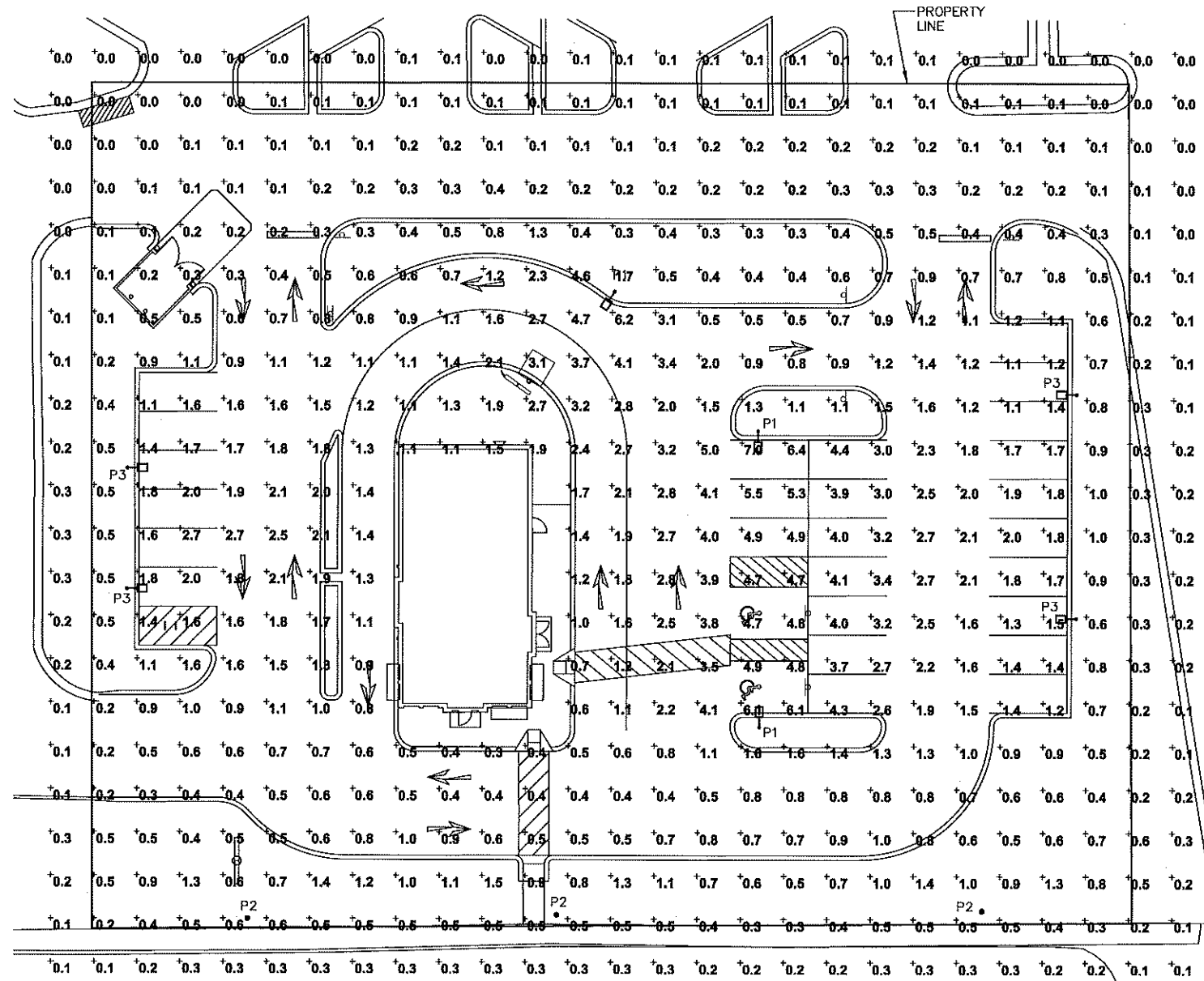
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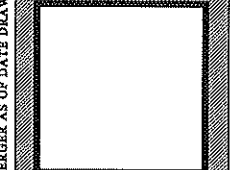
**Know what's below.
 Call before you dig.**

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LIGHT FIXTURE SCHEDULE						
FIXTURE ID	DESCRIPTION	LAMP TYPE	LAMP QTY	WATTAGE	ADDITIONAL INFORMATION	
P1	LED POLE LIGHT LSI CAT # XLCS FT LED SS NW UE BRZ	LED	1	97	20' SQUARE STEEL POLE ON 30' HIGH X 24" Ø BASE	
P2	LED POLE LIGHT HOLOPHANE CAT # STLE2 P10 30K 3	LED	1	26	12' ROUND STEEL DECORATIVE POLE ON 0' HIGH X 18" Ø BASE	
P3	LED POLE LIGHT LSI CAT # XLCS FIE LED SS NW HSS UE BRZ	LED	1	96	20' SQUARE STEEL POLE ON 30' HIGH X 24" Ø BASE	



1 SITE PHOTOMETRIC PLAN
PM-1.0 SCALE: 1/16" = 1'-0"



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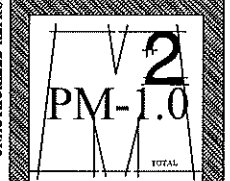
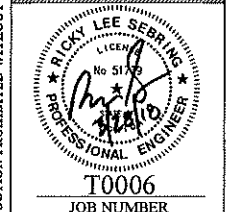
THE MILBERGER ARCHITECTURAL GROUP, LLC
7500 South Memorial Parkway
Suite 215K
Huntsville, AL, 35802
(256)534-0657
www.m2architects.com



CHURCH'S
Version 2200_CC4
Store No. xxxx
845 S. Orange Blossom Trail
Apopka, FL

DRAWN BY:
DATE:
CHECKED:

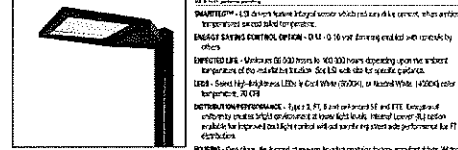
CONTENTS:
SITE PHOTOMETRIC PLAN



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SITE LIGHTING CUTSHEETS

LED AREA LIGHTS - LSI SLICE SMALL (XLCS)



LED LIGHTING DATA
 Department of Energy has certified this product for use in the United States. For lighting fixture information, visit www.energy.gov.

LED LIGHTING DATA

Fixture	Power (W)	Power (W)	Power (W)	Power (W)	Power (W)
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
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Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K

LED AREA LIGHTS - LSI SLICE SMALL (XLCS)

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 Color: 3000K, 4000K, 5000K

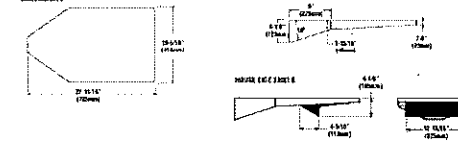
LED AREA LIGHTS - LSI SLICE SMALL (XLCS)

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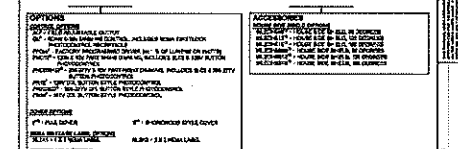
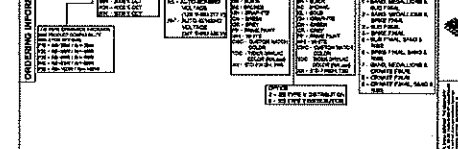
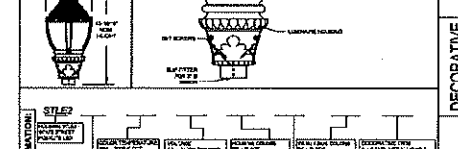
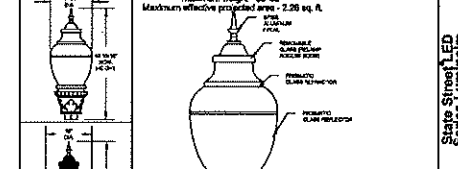
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LED LIGHTING DATA

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Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K



Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K

Performance Data

AS Voltage Option Data

Fixture	Power (W)	Power (W)	Power (W)	Power (W)	Power (W)
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
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XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30

FPDx Data Table (Only Available With AS Option)

Fixture	Power (W)	Power (W)	Power (W)	Power (W)	Power (W)
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
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FPDx Data Table (Only Available With AS Option)

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XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30

Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K

NOTES

1. Fixture is not to be used in wet or damp locations.
2. Fixture is not to be used in hazardous locations.
3. Fixture is not to be used in areas where it will be subject to physical damage.
4. Fixture is not to be used in areas where it will be subject to corrosive vapors.
5. Fixture is not to be used in areas where it will be subject to high salt concentrations.
6. Fixture is not to be used in areas where it will be subject to high humidity.
7. Fixture is not to be used in areas where it will be subject to high temperatures.
8. Fixture is not to be used in areas where it will be subject to high altitudes.
9. Fixture is not to be used in areas where it will be subject to high seismic activity.
10. Fixture is not to be used in areas where it will be subject to high wind speeds.
11. Fixture is not to be used in areas where it will be subject to high snow loads.
12. Fixture is not to be used in areas where it will be subject to high ice loads.
13. Fixture is not to be used in areas where it will be subject to high lightning strikes.

Product Compatibility Table

Fixture	Power (W)	Power (W)	Power (W)	Power (W)	Power (W)
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Product Compatibility Table

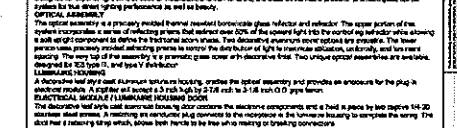
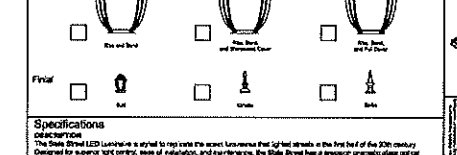
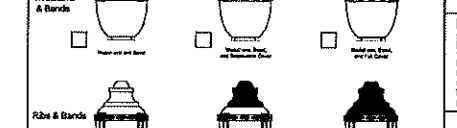
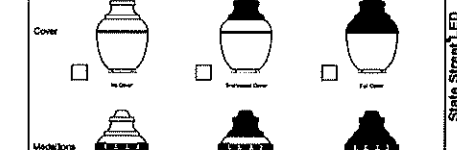
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Lumen Ambient Temperature (LAT)

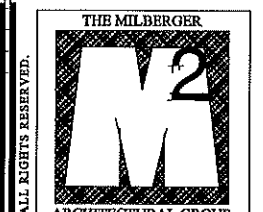
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XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30
XLCS	10	15	20	25	30

Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K

Mark Appropriate Box for Trim Option



Power: 10W, 15W, 20W, 25W, 30W
 Color: 3000K, 4000K, 5000K



REVISIONS

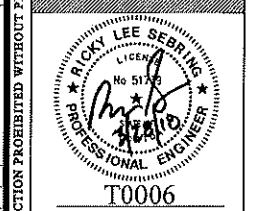
THE MILBERGER ARCHITECTURAL GROUP, LLC
 7500 South Memorial Parkway
 Suite 215K
 Huntsville, AL 35892
 (256)534-0657
 www.m2architects.com



CHURCH'S
 Version 2000-CC4
 Store No. XXXX
 845 S. Orange Blossom Trail
 Apopka, FL

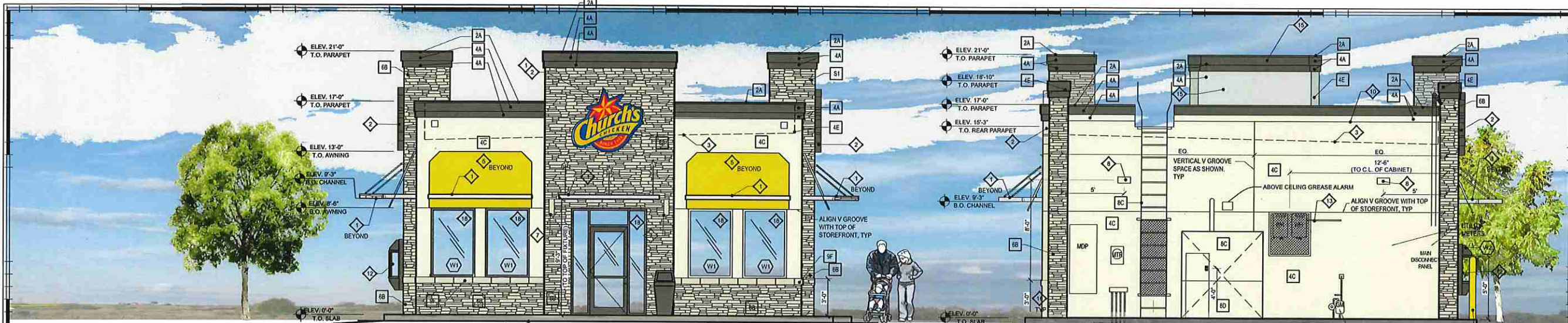
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 DATE:
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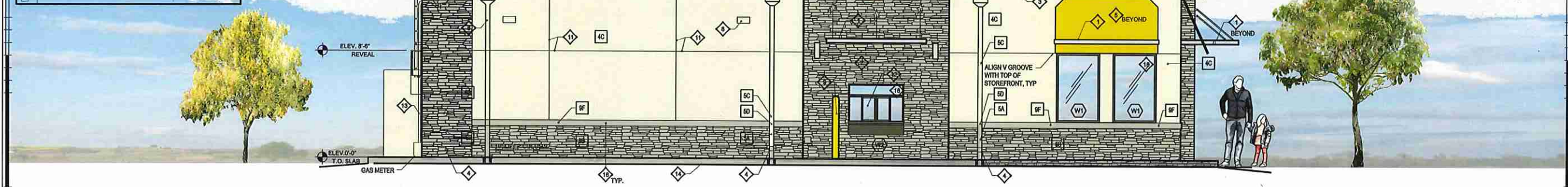
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 JOB NUMBER
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 PM-1.1
 TOTAL

UNAUTHORIZED REPRODUCTION PROHIBITED WITHOUT PERMISSION



NO.	MATERIAL	FINISH	BOILING COMPONENT
1	NOT USED		
2	ALUMINUM	PRE-FINISHED	CEILING
3	FLOORING	FIELD FLOOR FINISH	CONCRETE
4	CLIP	1/2" DIA. SAND AT DIAPHRAGM	CLIP
5	GALV.	FIELD FLOOR FINISH	CLIP
6	SIGNAL STONE	PRECAST CONCRETE	CLIP
7	ALUMINUM	1/2" DIA. SAND AT DIAPHRAGM	CLIP
8	METAL BUDS	COMPONENTS	CLIP
9	SIGNAL STONE	ARCHITECTURAL STONE	CLIP

EXTERIOR COLOR LEGEND	
WARM GREYS	
A	SPRINKLER RISER
B	BLACK METAL
C	SPRINKLER RISER
D	GOLDEN YEL.
E	SPRINKLER RISER
F	SPRINKLER RISER
G	SPRINKLER RISER
H	SPRINKLER RISER
I	SPRINKLER RISER



REVISIONS	
A	
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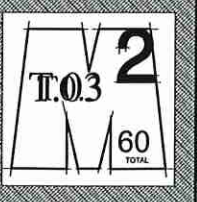
THE MILBERGER ARCHITECTURAL GROUP, llc
 7500 South Memorial Parkway
 Suite 215K
 Huntsville, AL 35802
 (256) 534-0857
 www.m2architects.com



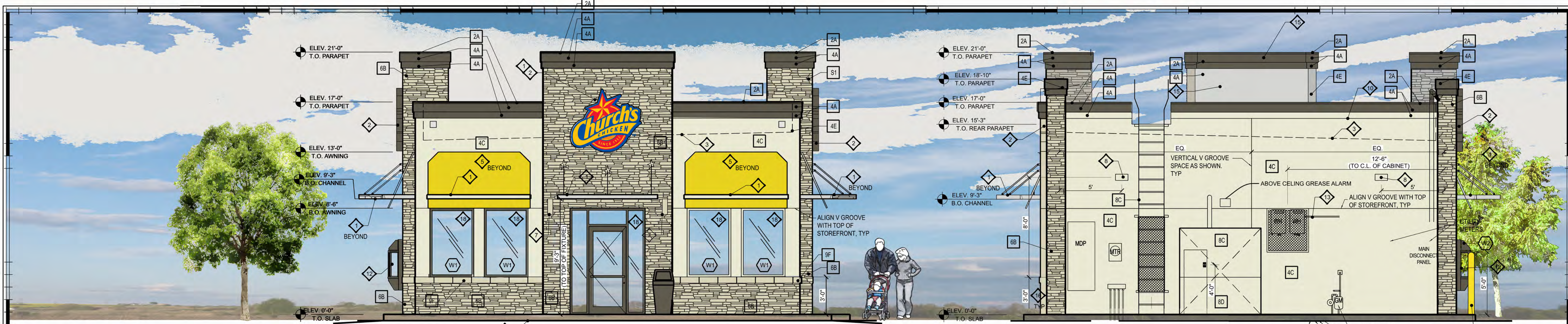
1850 Prototype 2014
 Version: 1850 CC5

CHURCH'S CHICKEN
 845 S. Blossom Trail
 Apopka, FL 32703
 Permit Set: October 14, 2017

DRAWN BY: EDM	CHECKED BY: EDM
REVISIONS	
CONTENTS: Rendering	

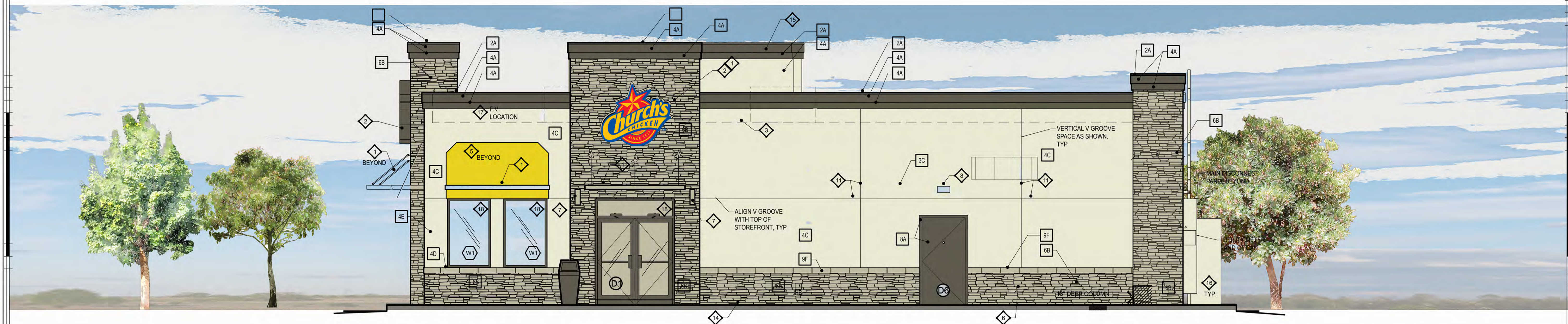
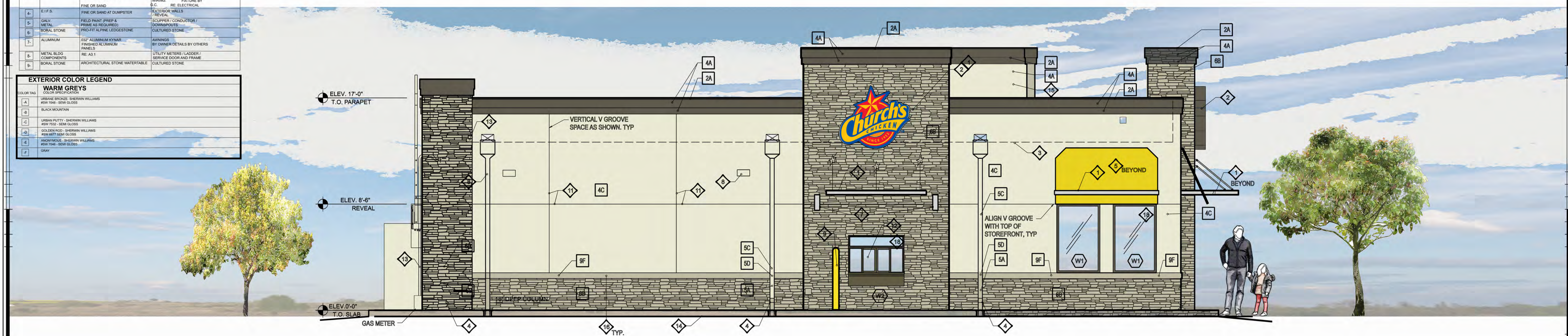


UNAUTHORIZED REPRODUCTION PROHIBITED WITHOUT PERMISSION



NO.	MATERIAL	FINISH	BUILDING COMPONENT
1	NOT USED		
2	ALUMINUM	PRE-FINISHED	COPING
3	BOX	FIELD PAINT (PREP & PRIME AS REQUIRED)	G.C. TO PROVIDE A BOX AND ELECTRICAL BY WIRING. SEE ELECTRICAL
4	E.F.F.S.	FINE OR SAND	FLOORING
5	GRAVEL	FIELD PAINT (PREP & PRIME AS REQUIRED)	MECHANICAL
6	BOYD STONE	PROFIT ALPINE LEDGESTONE	EQUIPMENT/CONDUIT/DOWNSPOUTS
7	ALUMINUM	002' ALUMINUM RYMAR FINISHED ALUMINUM PANELS	AWNING
8	METAL BLDG COMPONENTS	RE. A3.1	UTILITY METERS / LASSO / SERVICE DOOR AND FRAME
9	BORAL STONE	ARCHITECTURAL STONE WATERTABLE	CULTURED STONE

COLOR TAG	COLOR SPECIFICATION
A	WARM GREYS
B	BLACK MOUNTAIN
C	LIBRA PUTTY - SHERMAN WILLIAMS
D	GOLDEN ROD - SHERMAN WILLIAMS
E	MOONMOOD - SHERMAN WILLIAMS
F	GRAY



REVISIONS
A
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G
A

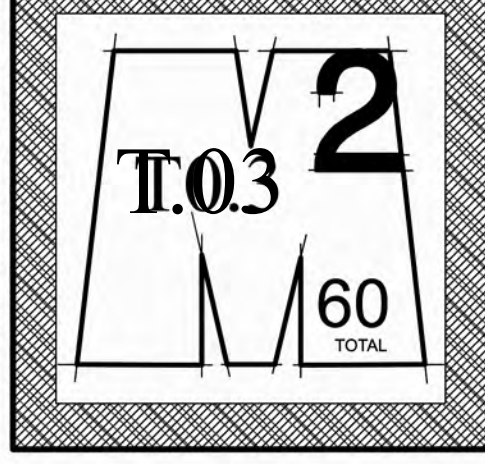
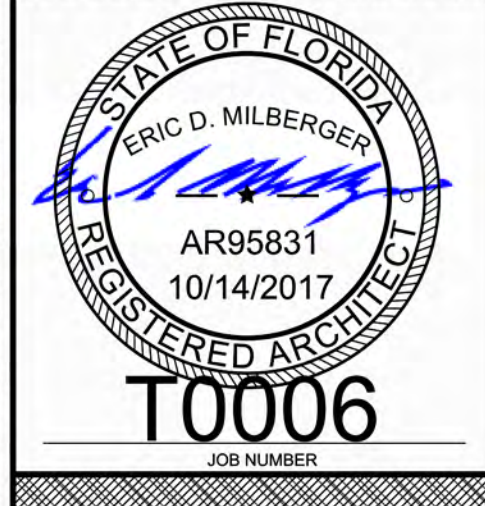
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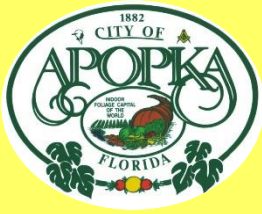
1850 Prototype 2014
 Version: 1850 CC5

CHURCH'S CHICKEN
 845 S. Blossom Trail
 Apopka, FL 32703
 Permit Set: October 14, 2017

DRAWN BY:	CHECKED BY:
EDM	EDM
Rendering	
CONTENTS:	
Rendering	



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CITY OF APOPKA PLANNING COMMISSION

<input type="checkbox"/> PUBLIC HEARING	MEETING OF:	May 8, 2018
<input checked="" type="checkbox"/> SITE PLAN	FROM:	Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: PUD Master Plan/Final Development Plan		Aerial Map
		Final Development Plan
		Landscape Plan
		Architectural Elevations

SUBJECT: PUD MASTER PLAN/FINAL DEVELOPMENT PLAN – RACETRAC – 1305 WEST ORANGE BLOSSOM TRAIL

REQUEST: RECOMMEND APPROVAL OF THE PUD MASTER PLAN/FINAL DEVELOPMENT PLAN FOR RACETRAC LOCATED ON THE NORTHWEST CORNER OF HERMIT SMITH ROAD AND US 441

SUMMARY:

OWNER: Zellwood Properties, LLC

APPLICANT/ENGINEER: Tannath Design, Inc., c/o Bryan Potts, P.E.

LOCATION: Northwest corner of Hermit Smith Road and US 441

PARCEL ID #: 36-20-27-0000-00-024, 01-21-27-0000-00-001

LAND USE: Commercial

ZONING: PUD (Planned Unit Development/Commercial)

EXISTING USE: Vacant Land

PROPOSED USE: Gas Station with 18 fueling stations and 5,411 square foot convenience store

TRACT SIZE: 2.53 +/- acres

BUILDING SIZE: 5,411 square feet convenience store

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (1 D/U per 10 Acres)	“County” A-1	Vacant
East (City)	Rural (1 D/U per 10 Acres)	“County” A-1 (ZIP)	Hermit Smith Rd/Vacant
South (County)	Not assigned	Not assigned	US 441
West (County)	Rural (1 D/U per 10 Acres)	“County” A-1	Vacant

ADDITIONAL COMMENTS: The applicant has submitted a PUD Master Plan/Final Development Plan for a RaceTrac gas station with 16 fueling stations and an associated 5,411 square foot convenience store. The subject property is located at the northeast corner of the intersection of Hermit Smith Road and US 441. The subject property is approximately 2.53 acres in size and is zoned Planned Unit Development.

PARKING: A total of 35 parking spaces will be provided for the convenience store, and 16 parking spaces will be provided at the fueling station for a total of 55 parking spaces. Two parking spaces are reserved as a handicapped parking spaces.

ACCESS: Access to the site is provided via a full access point located on Hermit Smith Road, and a right in/right out on US 441. A 240-foot right turn lane leading into the site from US 441 will be constructed concurrent with site construction.

TRANSPORTATION: Using ITE Trip Generation Rates, 9th Edition, the estimated project trip generation is 731 net new daily trips daily trips, 52 a.m. and 62 p.m. net new peak hour trips. The development is adding a 240-foot right deceleration lane at the access driveway on US 441.

ARCHITECTURAL ELEVATIONS: The architectural elevations provided for the convenience store propose a one story building with architectural design elements including awnings, windows with glazing, eifs, and a watermark and stone veneer provided around the perimeter of the building. The fueling station will be covered with an awning. Stone veneer that matches the stone veneer provided around the perimeter of the convenience store will be provided around the perimeter of the support columns of the fueling station. The building exhibits high quality architectural elements that are required in the Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated onsite with a dry stormwater retention pond that is located behind the convenience store building.

BUFFER/TREE PROGRAM: The adjacent properties to the north and west have Agricultural zoning. Per the Land Development Code, a 6-foot block wall is required to be provided between commercial and agricultural uses. A wall is provided along the northern property boundary and approximately one-quarter of the western property. The wall is not provided along the entire western property line to allow for future cross-access between the subject property and the property to the west at such time that property develops. Landscaping including Live Oaks, Bald Cypress, Holly, and Bahia sod is provided in this location.

The applicant has provided a detailed landscape and irrigation plan that complies with the requirements of the City’s Land Development Code. The planting materials and irrigation system design are consistent with the water-efficient, Florida-friendly landscape standards set forth in Ordinance No. 2069.

PLANNING COMMISSION – MAY 8, 2018
RACETRAC HERMIT SMITH ROAD - FINAL DEVELOPMENT PLAN
PAGE 3

TREES: The applicant has agreed to a tree mitigation payment of \$2,769.41 to mitigate existing trees that are proposed to be removed.

Total inches on-site:	365
Total inches removed	277
Total inches retained:	88
Total inches added:	81.5
Total inches post development:	169.5

PUBLIC HEARING SCHEDULE:

May 8, 2018 - Planning Commission (5:30 pm)

June 6, 2018 - City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the RaceTrac Final Development Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Find the RaceTrac Master Plan\Final Development Plan consistent with the Land Development Code and Comprehensive Plan, and recommend approval of the RaceTrac Hermit Smith Road Master Plan\Final Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Note: **This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

PLANNING COMMISSION – MAY 8, 2018
RACETRAC HERMIT SMITH ROAD - FINAL DEVELOPMENT PLAN
PAGE 4

Application: Final Development Plan
Owner: Zellwood Properties, LLC
Applicant/Engineer: Tannath Design, Inc., c/o Bryan Potts, P.E.
Parcel I.D. No: 36-20-27-0000-00-024, 01-21-27-0000-00-001
Location: Hermit Smith Road and US 441
Acres: 2.53 acres

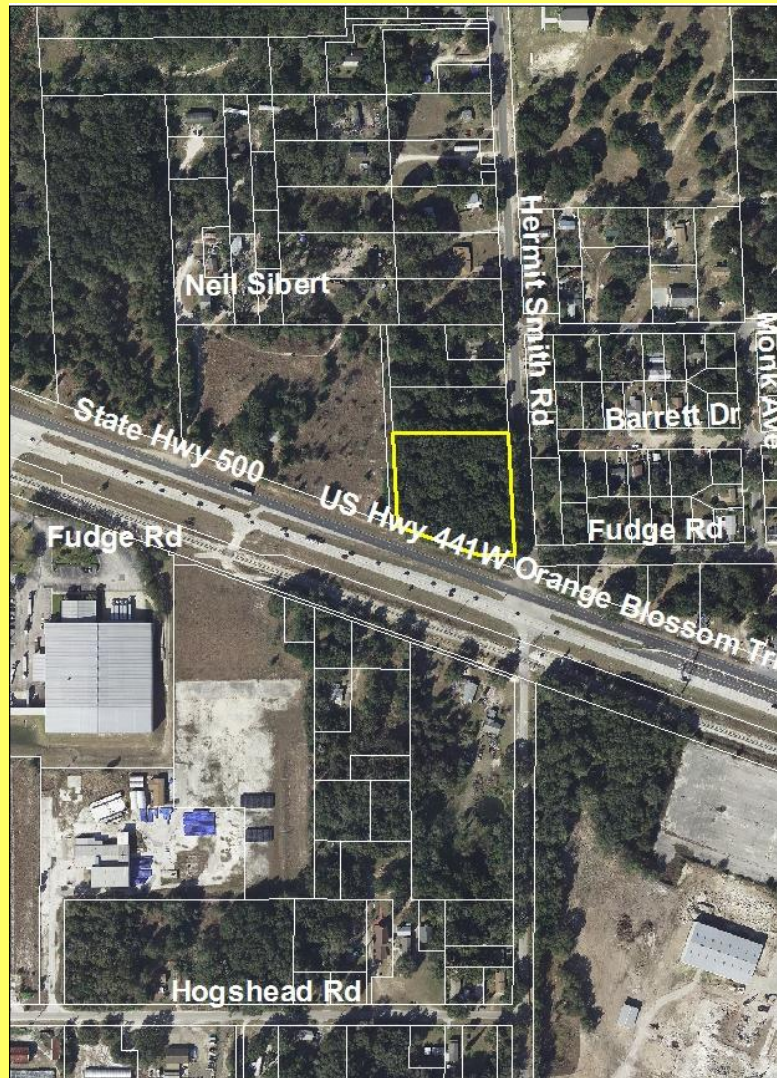


VICINITY MAP




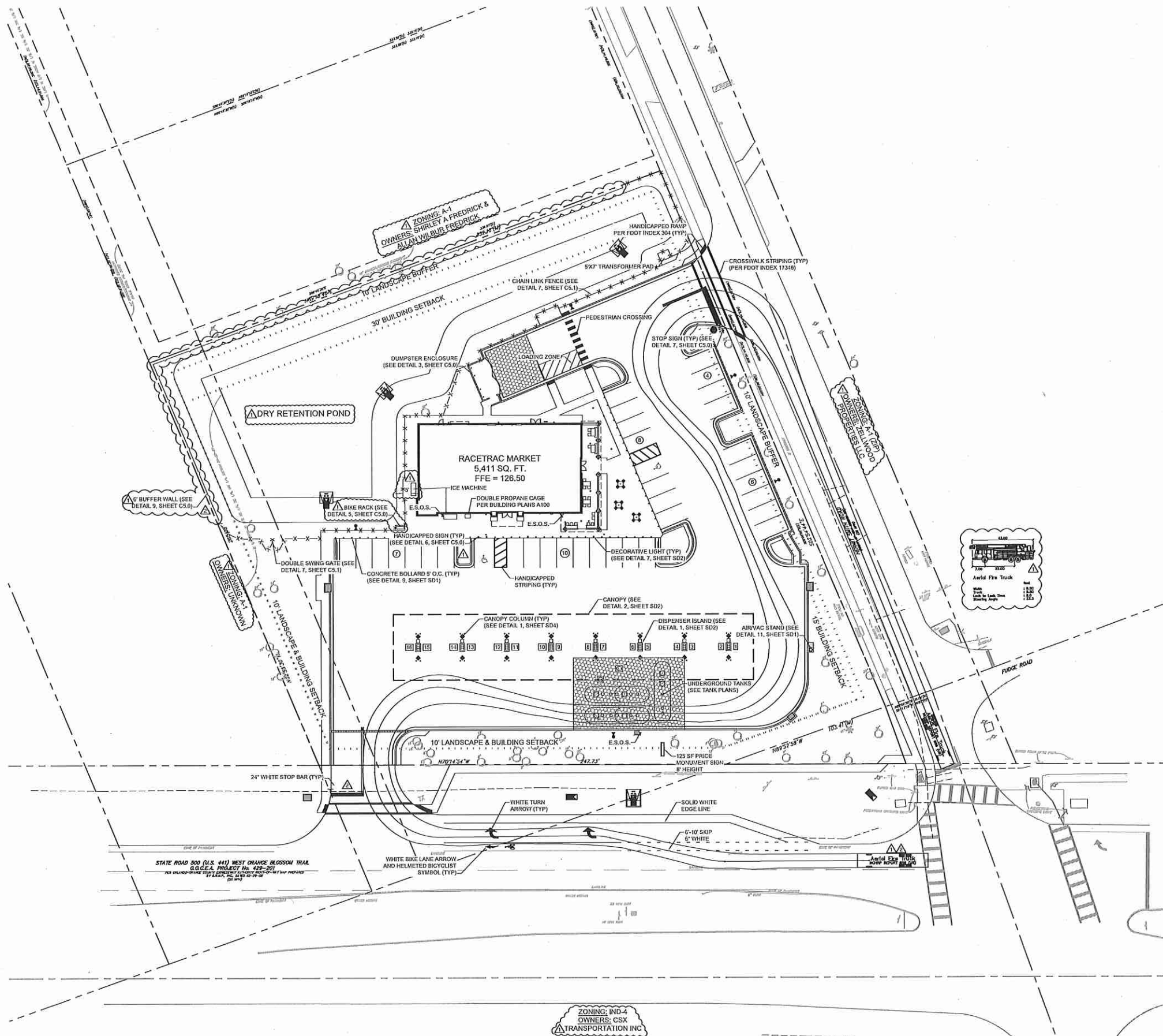


AERIAL MAP



Legend

 Subject Property



SITE DATA

PROPERTY LOCATION:	NW CORNER HERMIT SMITH ROAD AND OBT
PARCEL ID:	36-23-27-0000-00-024
LOCAL MUNICIPALITY:	CITY OF APOPKA
FUTURE LAND USE:	RURAL
CURRENT ZONING:	ZIP (A-1)
EXISTING USE:	UNDEVELOPED LOT
PROPOSED USE:	GAS STATION WITH CONVENIENCE STORE
PROJECT AREA:	2.532 AC (110,293.92 S.F.)
IMPERVIOUS SURFACE RATIO:	47,530' 110,293.92 = .431
PROPOSED FAR:	.049
BUILDING AREA:	5,411 S.F.
PROPOSED OPEN SPACE:	(1.44 AC) 57.0%
IMPERVIOUS AREA:	1.09 AC

BUILDING SETBACKS	LANDSCAPE BUFFERS
FRONT (SOUTH)	FRONT (SOUTH)
SIDE (EAST)	SIDE (EAST)
SIDE (WEST)	SIDE (WEST)
REAR (NORTH)	REAR (NORTH)
ADJACENT PROPERTIES	FUTURE LAND USE
FRONT (SOUTH)	RURAL
SIDE (EAST)	RURAL
SIDE (WEST)	RURAL
REAR (NORTH)	RURAL
BUILDING HEIGHT	
MAXIMUM	35'

SOILS
 SOIL NUMBER NAME USDA TEXTURE HYDROLOGIC GROUP
 4 SANDER FINE SAND A
 SOILS DATA FROM USDA NRCS ONLINE SOILS SURVEY DATED SEPTEMBER 20, 2016

FLOOD ZONE
 THE SITE IS LOCATED IN FLOOD ZONE X, NOT A SPECIAL FLOOD AREA, PER FEMA F.I.R.M. PANEL 12095C0125F, DATED SEPTEMBER 25, 2002, ORANGE COUNTY, FLORIDA.

WETLANDS
 THERE ARE NO WETLANDS ON OR AROUND THE SITE.

EXISTING CONDITION
 THE SITE IS CURRENTLY WOODLAND.

PARKING REQUIRED	5,411 SQ. FT. X (1 SPACE PER 100 SQ. FT.)	55 SPACES
C-STORE		55 SPACES
PARKING PROVIDED		16 SPACES
PUMP SPACES		33 SPACES
STANDARD PARKING SPACES (10'X18')		2 SPACES
HANDICAPPED PARKING SPACES (10'X15')		51 SPACES
TOTAL PARKING PROVIDED		1 SPACES
OFF-STREET LOADING SPACES	5,411 SQ. FT. X (1 SPACE PER 10,000 SQ. FT.)	
RETAIL COMMERCIAL		

STORMWATER MANAGEMENT:
 STORMWATER FACILITIES SHALL BE DESIGNED AND PERMITTED IN ACCORDANCE WITH THE CITY OF APOPKA AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

GENERAL SITE NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE DRIVEWAY AND ROW UTILIZATION PERMIT FROM ORANGE COUNTY FOR HERMIT SMITH ROAD AND FDOT FOR OBT (SR 441) PRIOR TO THE START OF CONSTRUCTION.
3. ALL CURB DIMENSIONS ARE FROM THE FACE OF GUTTER. ALL BUILDING DIMENSIONS ARE TO THE FACE OF STRUCTURAL CMU.
4. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
5. ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED AT ALL POINTS OF CONNECTION AND AREAS OF CONFLICT.
6. ALL PUBLIC IMPROVEMENTS, INCLUDING ADJACENT SIDEWALKS, WILL BE CHECKED AT FINAL INSPECTION. ANY DAMAGED, BROKEN, OR CRACKED SECTIONS SHALL BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATIONS OF OCCUPANCY.
7. ALL CONSTRUCTION SHALL MEET CITY OF APOPKA REQUIREMENTS.
8. ALL SITE IMPROVEMENTS SHALL CONFORM TO A.D.A. AND FLORIDA ACCESSIBILITY CODE.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL NOTIFY SUNSHINE LOCATORS FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING CONSTRUCTION AT 1-800-432-4770, MONDAY THROUGH FRIDAY 7:00 AM TO 4:30 PM.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TOWERS, SLOPE PAVING, COLUMNS, DOOR LOCATIONS, AND UTILITY ENTRANCES.
11. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED PER PLANS. ALL COST SHALL BE INCLUDED IN BASE BID.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED PER PLANS.
13. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
14. ALL CONSTRUCTION MATERIAL AND METHODS, SHALL MEET THE CURRENT EDITIONS OF THE FDOT DESIGN STANDARDS, THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE UTILITY ACCOMMODATION MANUAL.
15. ALL DISTURBED AREAS WITHIN THE FDOT RIGHT OF WAY SHALL BE GRADED AND SODDED WITH ARGENTINE BAHIA SOD.
16. ALL STRIPING WITHIN THE FDOT RIGHT OF WAY SHALL BE LEAD-FREE THERMOPLASTIC.
17. ALL MAINTENANCE OF TRAFFIC SHALL ADHERE TO THE REQUIREMENTS OF THE DESIGN STANDARDS 600 INDEXES.
18. BUILDING SHALL MEET ALL NFPA AND FLORIDA FIRE PREVENTION CODES.
19. PLACE LIGHT WEIGHT CONSTRUCTION PLACARD ON BUILDING PER FLORIDA STATUTE 633.027.
20. NO OUTSIDE ACTIVITIES, BUT NOT LIMITED TO, OUTSIDE STORAGE OF PARTS, VENDING MACHINES, SUPPLIES, MERCHANDISE OR MATERIAL SHALL BE ALLOWED EXCEPT FOR CONFINED OUTDOOR DINING AREA AND ICE MACHINE (AS SHOWN ON THIS PLAN) ACCORDANCE WITH APPROVED SITE PLAN.
21. ALL STRIPING WITHIN FDOT RIGHT OF WAY PER FDOT INDEX 17346.
22. BICYCLE PARKING SHALL BE ADDRESSED ACCORDING TO LDC SECTION 6.03.02 C.2.
23. ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.

REVISED PER FDOT COMMENTS	CMF	01/10/18
REVISED PER CITY COMMENTS	CMF	02/07/18
ISSUED FOR PERMITTING	BRP	02/02/18
REVISIONS	BY	DATE
NO.		

THESE PLANS ARE PREPARED IN COMPLIANCE WITH
 FAC. 115.15(2)(b)

TANNATH DESIGN, INC.
 2494 ROSE SPRING DRIVE
 ORLANDO, FLORIDA 32825
 (407) 384-9199
 www.tannathdesign.com
 FL. REG. #89481

BRYAN R. FOTTS, P.E.
 FL. REG. #49481

DATE

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS; ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED.

Racetrac
 RACETRAC PETROLEUM, INC.
 200 GALLERIA PARKWAY S.E., SUITE 900
 ATLANTA, GA 30339
 (770) 451-1600

SITE PLAN
 RACETRAC #1289-W OBT & HERMIT SMITH
 1102 HERMIT SMITH RD.
 APOPKA, FL 32714
 ORANGE COUNTY

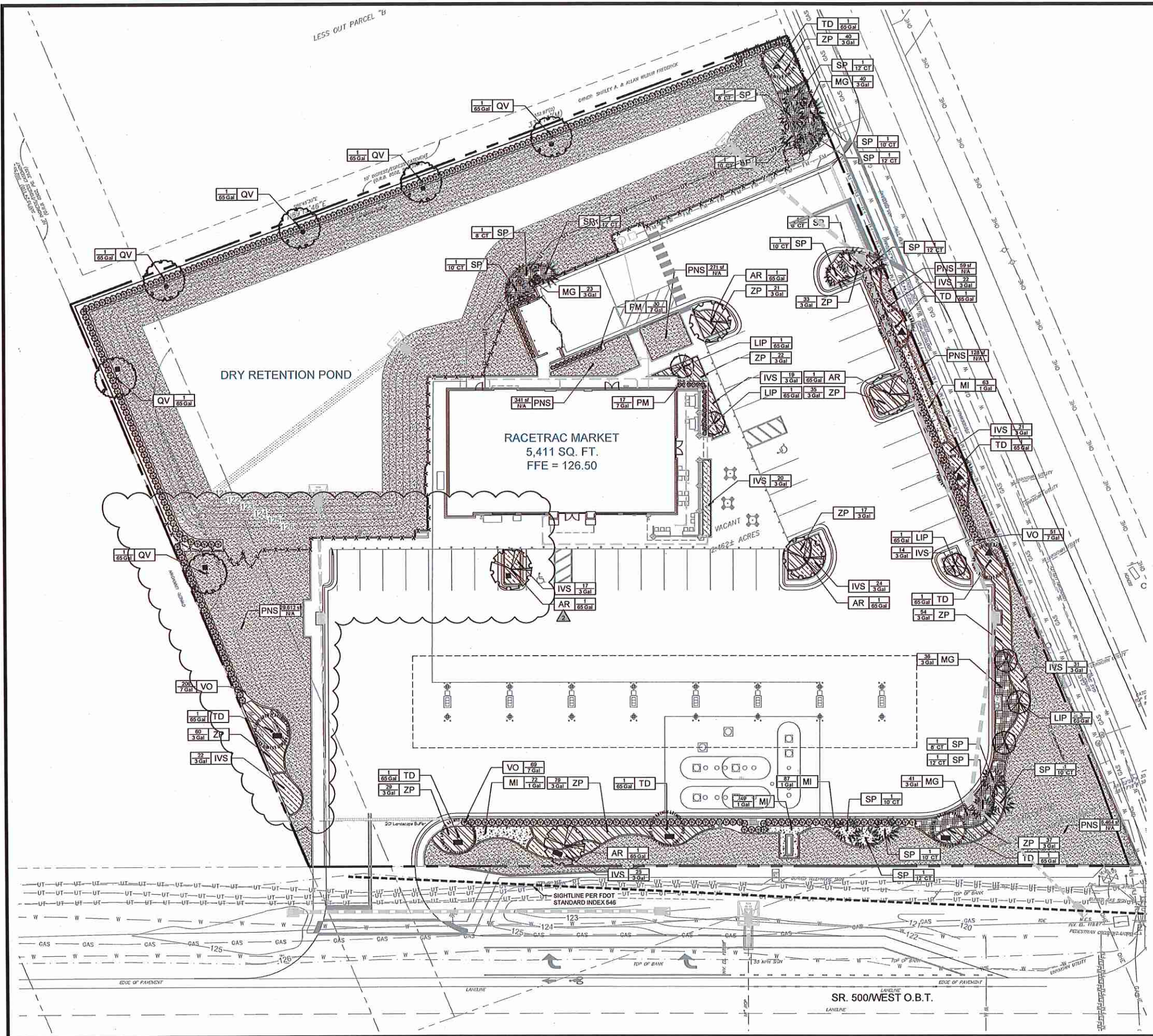
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DATE	01/29/2018
SCALE	1" = 30'
PROJECT NUMBER:	024-093
SHEET NO.	C1.2
VERSION	2

CONTACT RACETRAC PETROLEUM, INC. PROJECT MANAGER PRIOR TO ANY REVISIONS TO THE PLAN SUPPLIED BY RACETRAC PETROLEUM, INC.

ZONING: HD-4
 OWNERS: CSX
 TRANSPORTATION INC

Sunshine
811

0 15 30 60

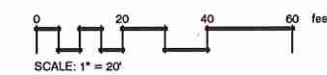


PLANT LEGEND

TREES	CODE	COMMON NAME	BOTANICAL NAME
	AR	Florida Flame Red Maple	Acer rubrum 'Florida Flame'
	QV	High Rise Live Oak	Quercus virginiana 'High Rise'
	TD	Bald Cypress	Taxodium distichum
PALM TREES	CODE	COMMON NAME	BOTANICAL NAME
	SP	Cabbage Palmetto	Sabal palmetto
		Cabbage Palmetto	Sabal palmetto
		Cabbage Palmetto	Sabal palmetto
SMALL TREES	CODE	COMMON NAME	BOTANICAL NAME
	LIP	Purple Crape Myrtle	Lagerstroemia fauriei 'Muskogee'
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME
	PM	Podocarpus	Podocarpus macrophyllus
	VO	Sweet Viburnum	Viburnum odoratissimum
SHRUB AREAS	CODE	COMMON NAME	BOTANICAL NAME
	IVS	Schillings Holly	Ilex vomitoria 'Schillings'
	MG	Pink Muhly Grass	Muhlenbergia capillaris
	ZP	Coontie	Zamia pumila
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME
	MI	African Iris	Moraea iridioides
SOD/SEED	CODE	COMMON NAME	BOTANICAL NAME
	PNS	Bahia Grass	Paspalum notatum 'Argentine'

CODE REQUIREMENTS LEGEND

SYMBOL	TREE REQUIREMENTS DESCRIPTION	Required
●	North Property Line	4
▲	East Property Line	4
■	South Property Line	5
■	West Property Line	3



J.L. JAMES J.L. JAMES UPDATES PER COMMENTS UPDATES PER COMMENTS	COREY J. MILLS RLA# 6666931 DATE NO.	REVISIONS NO.	BY DATE
THESE PLANS ARE THE PROPERTY OF MILLS DESIGN GROUP. ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF MILLS DESIGN GROUP IS PROHIBITED.			
Planting Plan RACETRAC #1289 - Hermit Smith State Road 500 & Hermit Smith Road Apopka, Florida			
DATE: 03/06/13 SCALE: 1" = 20' DRAWN BY: AE PROJECT NUMBER: 024-037		SHEET NO. L1.11 VERSION 2	

